CITY OF SHOREVIEW AGENDA REGULAR CITY COUNCIL MEETING Sontombor 8 2015

September 8 2015 7:00 P.M.

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

APPROVAL OF AGENDA

PROCLAMATIONS AND RECOGNITIONS

CITIZENS COMMENTS - Individuals may address the City Council about any item not included on the regular agenda. Specific procedures that are used for Citizens Comments are available on notecards located in the rack near the entrance to the Council Chambers. Speakers are requested to come to the podium, state their name and address for the clerk's record, and limit their remarks to three minutes. Generally, the City Council will not take official action on items discussed at this time, but may typically refer the matter to staff for a future report or direct that the matter be scheduled on an upcoming agenda.

COUNCIL COMMENTS

CONSENT AGENDA - These items are considered routine and will be enacted by one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which event the item will be removed from the Consent Agenda and placed elsewhere on the agenda.

- 1. August 10, 2015 City Council Workshop Meeting Minutes
- 2. August 17, 2015 City Council Meeting Minutes
- 3. Receipt of Committee/Commission Minutes
 - -- May 26, 2015 Planning Commission Workshop Minutes
 - -- June 23, 2015 Planning Commission Workshop Minutes
 - --July 28, 2015 Planning Commission Minutes
- 4. Verified Claims
- 5. Purchases
- 6. License Applications

- 7. Developer Escrow Reductions
- 8. Acceptance of Gift from AARP Foundation
- 9. Conditional Use Permit—3680 Kent Street, Gary Boryczka
- 10. Host Approval for Refinancing of Shoreview Senior Residence/Scandia Shores Project
- 11. Reauthorizing Declaration of Trust with 4M Fund
- 12. Authorize Hiring of Professional Firm to Develop Shoreview Commons Master Plan

PUBLIC HEARING

GENERAL BUSINESS

- 13. Items Related to 2016 Tax Levy
 - A. Adopt Preliminary Tax Levy
 - B. Establish Dates for Budget Hearing
- 14. Rezoning/Planned Unit Development-Development Stage—Ramsey County Library, 4570 Victoria Street, 795/805 Highway 96
- 15. Preliminary Plat/Site and Building Plan Review/Special Fence Permit—Oak Hill Montessori School, 4665/4685/4693 Hodgson Road

STAFF AND CONSULTANT REPORTS AND RECOMMENDATIONS

SPECIAL ORDER OF BUSINESS

ADJOURNMENT

* Denotes items that require four votes of the City Council.

CITY OF SHOREVIEW MINUTES CITY COUNCIL SPECIAL WORKSHOP MEETING August 10, 2015

CALL TO ORDER

Mayor Martin called the workshop meeting of the Shoreview City Council to order at 7:00 p.m. on August 10, 2015.

ROLL CALL

The following attended the meeting:

City Council: Mayor Martin; Councilmembers Johnson, Quigley, and Wickstrom

Councilmember Springhorn was absent.

Staff: Terry Schwerm, City Manager

Rebecca Olson, Asst. to City Manager

Fred Espe, Finance Director

Debbie Maloney, Asst. Finance Manager Mark Maloney, Public Works Director

Mn/DOT Jerome Adams, Project Manager I-35W North Corridor

Mark Lindeberg, North Area Engineer

<u>DISCUSSION REGARDING PRELIMINARY LAYOUT FOR I-35W NORTH</u> <u>MANAGED LANE PROJECT</u>

Presentation by Project Manager Jerome Adams

The I-35W corridor between Highway 36 and Lexington has been identified as one of the main congestion areas in the Twin Cities. The proposed solution is to add a lane. At this time the project is in the legal process to evaluate the most likely alternatives. The engineering completed shows that the MnPASS lane appears to be the best design choice for this corridor.

Councilmember Quigley asked if what has been identified now as the solution is actually what will be built. Mr. Adams responded that \$100 million has been identified in 2019 and 2020 for this project. The total cost of the project is between \$120 million and \$180 million. Firm funding is not yet identified. The preliminary engineering is being done now with public review so that when the time comes to build the project, the only remaining issue will be funding.

Mr. Adams stated that MnPASS is Minnesota's system of managed lanes. The MnPASS lane uses market based pricing to improve efficiency of the region's highway and transit systems. The purpose of pricing is to maintain a congestion free MnPASS lane, not to generate revenue. The lane to be added will be the left most lane in both directions. MnPASS will operate in the morning only for the southbound lane and in the afternoon only for the northbound lane. When MnPASS is active, trucks, transit and emergency vehicles and multiple rider vehicles use it for free. A car with a single occupant would need to have a transponder that is used to charge the fee for use of the MnPASS lane. The transponder can be deactivated if there is more than one person in the car using the MnPASS lane. There will be electronic signs indicating OPEN when the lane is free to everyone. When a toll is charged, the sign will show a price, and the transponder will need to be activated.

The reason general purpose lanes cannot be added that would be free to everyone is that four lanes, two on each side would be needed to eliminate congestion through 2040. Congestion is anticipated again after 2040 with general purpose lanes. General purpose lanes do not provide a long-term solution. Also, only two lanes, one on each side, can be built without buying property and rebuilding all interchanges. That option would be cost prohibitive at approximately \$2.5 billion.

Councilmember Wickstrom noted that the Metropolitan Council's transit map shows a BRT line to Forest Lake. If there is only enough room for two lanes now, she asked how a BRT will be added before 2040. She asked if there has been discussion with the Metropolitan Council. Mr. Adams stated that the Metropolitan Council is represented on the Advisory Committee and has helped with all of the traffic modeling. In a previous study, BRT was considered in the median. With this study, it has been determined that a BRT does not make sense for this corridor because there is not the population density to walk to and from buses. There is discussion about a BRT possibly being located on the right shoulder.

Councilmember Wickstrom expressed concern that in order to obtain federal funding, the BRT will have to be separated from the highway.

Mr. Adams stated that the MnPASS lane will have capacity to carry 10% more people. A MnPASS lane also has more reliable trips. A reliable trip means reaching one's destination in the same amount of time every day. Advantages for a MnPASS lane are: 1) reduced travel times; 2) increased reliability; 3) increased transit advantage; and higher transit ridership.

Transit can use the MnPASS lane as can any driver in a non-peak period. Solo drivers in peak periods will pay a fee. MnPASS lanes are cost effective because they give a higher return on tax dollars. There are 40 times more benefits for every dollar spent than adding a general purpose lane, and they reduce congestion without expanding the highway footprint.

Councilmember Wickstrom asked if the access points in Shoreview will remain the same and if there are plans for more Park and Rides. Mr. Adams answered that there is discussion about County Road I. No decision has been made on that access at this time. Otherwise, the access points in Shoreview will be the same. This study does not specify where additional Park and Rides will be located. This is being discussed with the Metropolitan Council.

Mayor Martin asked the schedule for design approval. Mr. Adams stated that the first step is to work with the Advisory Committee to effectively communicate what is planned with cities. That

is this meeting. Specific geometric enhancements, such as County Road I, are the next step and will be done from now until Thanksgiving.

Mayor Martin asked if there is communication with the legislature. Mr. Adams stated that there are two on the team who communicate with the legislature. It is recognized at the Commissioner level that this is a priority project.

Councilmember Wickstrom asked if the lack of funding will hold up the project because of no more bonding after 2017. Mr. Adams agreed that there is not sufficient funding at this time. Something will have to happen.

REVIEW OF PROPOSED 2016 PRELIMINARY TAX LEVY AND OPERATING BUDGET

Presentation by City Manager Terry Schwerm

Schwerm noted that the proposed 2016 General Fund budget shows approximately a \$300,000 increase or 3.1%. The EDA is up by \$20,000. Debt and capital levies are up to about \$100,000. The total increase is \$443,000 or 4.3%. Every \$100,000 is approximately 1% of the levy. The City's taxable value is anticipated to increase approximately 4.5%. The median home value is up 2.5%. Commercial and apartment properties have increased more than a single family home. HRA tax rate has increased about 1.5%. Fiscal disparities will decrease some. After everything is factored in, the levy increase is approximately \$480,000 from the 2015 levy or 5%.

The average home value at \$253,800 is an increase of 2.5%. This represents continued recovery from the recession from 2008 to 2013. The peak value in 2008 was \$286,600. All homes valued under approximately \$400,000 have some value excluded from what is taxed. As home value increases, the amount excluded becomes smaller. It is an attempt to reduce property taxes for low and moderate income homeowners. The credit is a direct deduction in property value.

The operating budget reflects a wage adjustment of 2.0% for regular staff and an increase of \$60 per month in the City's share for health care. The health care contribution anticipates a 14% increase in rates and the City splitting the increase in the family contribution.

Charges made from the preliminary budget which had a 6% increase include:

Increase revenue from license and permit revenue

Administrative charges to capital projects

Transfer from Cable TV

Transfers from Utility Funds on the basis of 1% of asset value (as a payment in lieu of property taxes)

Total General Fund revenue changes are a decrease of \$104,000

Changes to General Fund expenditures reduce the following:

Eliminate Public Works position

Reduce park maintenance associate positions

Reduce emergency services expenditures

Reallocation of staff wages from an increase of 2.5% to 2% to other funds Total General Fund expenditure reductions are \$120,257

Total General Fund changes from preliminary budget: \$224,257

General Fund revenue items that are increasing are:

MSA Maintenance

State Fire Aid

Administrative charges to other funds

Engineering fees

Plan check fees

Administrative citations

Expenditure items that are anticipated to increase are:

Wages and benefits for employees

Election expenses

Legal expenses

Police

Fire

Central Garage equipment/building charges

Building inspections

Community Center building charge

Postage

Miscellaneous items

Transfers out to:

Community Center Recreation programs

The total General Fund expenditure increases are \$342,946. The total increase to the General Fund accounting for revenues and expenditures is \$318,123.

Levy increases in all other funds are:

EDA Levy	\$20,000
Debt & Central Garage	3,000
Street Renewal	\$50,000
General Fixed Asset Fund	\$47,417
Information Technology Fund	5,000

Total proposed levy changes in all other funds is \$125,417.

The changes in the City levy total \$443,540 plus \$5,000 for the HRA Levy. The total levy increase is \$448,540. Police costs are increasing approximately \$50,000; fire costs are increasing approximately \$120,000. This means that about 1.7% of the 4.32% overall increase is due to public safety costs. This will be the last year for the full implementation of the duty crews in the Fire Department. After this year, increases are expected to be at inflationary levels.

Another 1% of the levy increase comes from debt levies and capital levies. The total increase from all wage adjustments and benefits is approximately \$110,000 or 1%.

Mayor Martin asked if this would be a time to use County services for elections. Mr. Schwerm responded that the cost to the City would be approximately \$110,000 for the County to take over elections. This amount is based on the number of registered voters and the number of absentee ballots. It would mean giving up a position plus the budgeted election costs to pay the County. Also, services to residents would be less since the City would not be open for absentee balloting except on days that is required by law.

Capital Funds

Projections for the Street Renewal Fund indicate levy increases from \$50,000 to support planned projects.

Levy increases to the General Fixed Asset Fund range are \$47,417 to cover planned projects. Beginning in 2018, General Fixed Asset Fund increases are projected to be 0.7% of the levy, unless changes require higher levies.

The Information Technology Fund projection increases are \$5,000 through 2018 and then \$10,000 through 2020 to support planned technology purchases. This small fund purchases needed technology when replacement funds cannot be used.

The HRA levy needs to be adopted by the first Council meeting in September. If the Council wants further changes, the budget levy can wait until the second Council meeting in September.

Mayor Martin noted more job turnover in the last year. She would like to know more about what other cities are doing in regard to salary increases and whether the adjustment should be put at 2.5%. Once the preliminary budget is adopted, it can be decreased but not increased.

Councilmember Quigley stated that employees who work for a good city become interesting to bigger cities, which is how he accounts for turnover. The levy seems high to him, but he is not sure how to lower it. The services employees provide is excellent and he would like to insure that employees are compensated fairly.

Councilmember Wickstrom stated that she supports the proposed preliminary levy realizing that the Fire Department is more than 1% of the increase. She also would like more information about other city wages. If it would be possible to increase wages by 2.5%, she would support that. Mr. Schwerm stated that staff will look at that and figure it out in terms of least impact to services.

Councilmember Johnson stated that 2.5% is high but acknowledged that in business the increases are closer to 1%. The City is also contributing to health care, which is a benefit.

Mayor Martin stated that she would like to preserve flexibility to add \$16,000 if possible to put wage increases at 2.5%.

It was the consensus of the Council to support the preliminary budget.

DISCUSSION REGARDING THE COMMUNITY CENTER EXPANSION PROJECT

Presentation by City Manager Terry Schwerm

Approximately a year ago, BWBR Architects prepared options for expansion to the Community Center. The preferred Option A-1 would be a two-level all-purpose area off of the gym. This added space would add 7,500 square feet to the lower level and 7,500 square feet to the upper level. The indoor play area would be expanded into the gym activity room. There would also be an addition of more family locker room space near the pool. The expanded multi-purpose space would be used for fitness and other recreation programs, such as Summer Discovery, a fitness program on the lower level for fitness classes and programs. The upper level would also be a multi-purpose space which could be used for senior programs, drama and art programs and add to the space available for Community groups. The estimated cost of this expansion is approximately \$4.5 million. This does not include an outdoor water play structure which is estimated to cost about \$1.2 million.

Councilmember Wickstrom asked if one of the spaces could be dedicated for community groups. Mr. Schwerm responded that designated uses are policy decisions for the Council. There are expressed needs for storage and office space from community groups. This may be the best opportunity to provide that if the Council chooses to do so.

Mayor Martin stated that one issue is that the needs of each community group is very different. Mr. Schwerm stated that the details of use of the space cannot be decided until design work for the project is completed.

Councilmember Johnson stated that the goals of the expansion have to be clear. The major goals are to expand the fitness area and play area.

Mr. Schwerm explained that this expansion is being considered as part of a much broader project and how it will fit into the Commons Master Plan. The entire Shoreview Commons area will be reviewed as part of a planned Master Plan update.

The Capital Improvement Program (CIP) has budgeted a Community Center expansion in 2017, which is estimated at \$4 million to \$4.5 million. Within the Community Investment Fund, there is a \$400,000 allowance for additional family locker rooms in 2015, \$550,000 to replace the wading pool in 2015, and \$700,000 for major park renovations in 2017. The total of all planned projects in the Community Investment Fund is approximately \$4 million, which could be used for this project, if decided by the Council. That would mean no other projects in addition to the Community Center expansion could be done if these funds are used.

Unlike the expansion in 2003, which generated significant membership revenue due to the expansion of the fitness center, this expansion is seen as keeping the Community Center updated and enhancing recreational programs. It is anticipated that expansion of the indoor play area

could generate an additional \$40,000 to \$50,000 a year through daily admissions and increased membership.

Councilmember Quigley asked for clarification on how Community Center money is budgeted. Mr. Schwerm explained that the Recreation Program Budget includes all recreation programs. The Community Center Budget is strictly for Center operations. In fact, the Recreation Program Budget contributes approximately \$80,000 to \$100,000 to the Community Center budget, which is considered rent for use of the facility.

Mayor Martin asked the reason for separating the budgets. Mr. Espe explained that the separation makes it easier to keep track of costs and revenue, knowing what revenue is brought in on the salaries paid. Mr. Schwerm added that generally the Community Center brings in 90% of its operating budget. The three major recreation programs that bring in revenue are fitness, Summer Discovery and aquatics. If the Community Center budget incorporated those three programs, it would come very close to covering its operating costs. But there would still be some subsidy needed for other recreation programs. A well designed outdoor pool area could bring in an additional \$20,000 a year. Recreation program revenue from use of the new multipurpose rooms is estimated at \$70,000 to \$100,000 a year. Those rooms would mean a 20% increase in the Summer Discovery program and 10% increase in fitness programs.

Councilmember Quigley asked if revenue is expected from the outdoor pool area. Mr. Schwerm noted that many facilities do not charge for a splash pad area so there is not good data on revenue. There would be a charge at the Community Center, as there is a charge to use the pool. The best way to dramatically increase revenue through daily admissions would be to expand the indoor pool area with an interactive water park play equipment. He estimated an addition like that would be \$3 million to \$4 million.

Mayor Martin stated that revenue is not the main issue. It is important to keep the facility updated, new and fresh for a better customer experience. She has received feedback from users that senior fitness classes are crowded.

Costs for the following features in a Community Center expansion are estimated as follows:

Multi-purpose addition (2 stories with playground expansion)\$4,000,000 to \$5,000,000Family Changing Area\$ 400,000 to \$500,000Cardio-Fitness Expansion\$1,500,000 to \$2,000,000Outdoor Wading Pool Replacement\$1,000,000 to \$1,500,000

Total: \$6,900,000 to \$8,000,000

Other projects that would fit in the Commons Master Plan include:

Outdoor refrigerated rink and landscaping Plaza style skatepark Accessible playground Veterans' Memorial Trail connections and library access improvement Miscellaneous costs

These projects would total approximately \$2,700,000 to \$4,700,000. These projects plus Community Center expansion projects could be in the \$10 million to \$13 million range. Financing could be up front on a pay-as-you-go basis, or bonds could be issued. Up to 50% of revenue coming into the Community Investment Fund could be used for debt service, if bonds are issued. At this time, there is approximately \$175,000 dedicated for debt service which would leave approximately \$325,000 assuming \$500,000 a year as a limit on debt service. Debt service can be paid from a number of sources. That would fund a \$3 million to \$4 million bond issue. Using money from the Community Investment Fund plus bonding could fund up to a \$8 million project.

Councilmember Quigley stated that he supports Option A1. He would like to see both financing and timing protracted and would like to maintain stability of what is already in place. A time schedule is needed to see how the project could be most effectively financed.

Councilmember Johnson stated that after 25 years, the Community Center is in need of a face lift. She noted that on *Night to Unite* she met over 20 families who have recently moved in and are potential users. She would need to see more solid cost numbers to be able to decide what should be included.

OTHER ISSUES

There were none.

The meeting adjourned at 9:18 p.m.

CITY OF SHOREVIEW MINUTES REGULAR CITY COUNCIL MEETING August 17, 2015

CALL TO ORDER

Mayor Martin called the regular meeting of the Shoreview City Council to order at 7:00 p.m. on August 17, 2015.

PLEDGE OF ALLEGIANCE

The meeting opened with the Pledge of Allegiance.

ROLL CALL

The following members were present: Mayor Martin; Councilmembers Johnson, Quigley, Springhorn and Wickstrom.

APPROVAL OF AGENDA

MOTION: by Councilmember Wickstrom, seconded by Councilmember Quigley to approve

the August 17, 2015 agenda as submitted.

VOTE: Ayes - 5 Nays - 0

PROCLAMATIONS AND RECOGNITIONS

There were none.

CITIZEN COMMENTS

There were none.

COUNCIL COMMENTS

Mayor Martin:

The Shoreview Walking Club is inviting friends to walk in the park. There was a great turnout to the kickoff meeting last week. The first walks will be Tuesday, August 25, 2015, at 10:00 a.m. and 6:00 p.m. Those two groups will meet at the Community Center. Two more groups will meet Thursday, August 27, 2015, at 10:00 a.m. and 6:00 p.m. and also leave from the Community Center.

After September 1, 2015, Mayor Martin announced that she will again hold her Tuesday office hours from 3:00 to 5:00 p.m. in the Council Chambers.

Welcome to Ally Financial, a new company in Shoreview. Ally Financial is investing in the building at 4000 Lexington Avenue, a building that has been empty for a number of years. Approximately 150 employees will be brought in. By 2017, Ally Financial anticipates bringing in another 200 employees.

Congratulations to Public Works staff on a state grant received. Shoreview was one of 152 applicants and was selected in a very competitive process. The grant award of \$54,000 will be used for a pilot project on water consumption and conservation methods.

Councilmember Johnson:

On Tuesday, August 18, 2015, the Ramsey County Sheriff's Department is sponsoring *Coffee with a Cop* at Caribou in North Oaks. This is an opportunity to talk about issues in the community and build relationships.

Nominations are being accepted for the *Citizen of the Year* award. Applications are available on the City website. The deadline is August 31, 2015.

Councilmember Quigley:

Commented that the crackfilling and resurfacing of streets has been exceptionally efficient this year.

Councilmember Wickstrom:

The Farmers' Market has a great selection of produce every Tuesday afternoon from 3:00 to 7:00 p.m.

The last Concert in the Commons will be Wednesday, August 19, 2015, at 7:00 p.m. The singer will be Jana Anderson.

Councilmember Springhorn:

The Friday Night Flix movie this week will be *The Lego Movie*. The movie starts at dusk, about 8:15 or 8:30 p.m.

A reminder to pedestrian, bikers and drivers that September 8, 2015 is the first day of school. All are urged to be careful.

CONSENT AGENDA

MOTION: by Councilmember Johnson, seconded by Councilmember Quigley to adopt the

Consent Agenda for August 17, 2015, and all relevant resolutions for item Nos.

1, through 16:

- 1. August 3, 2015 City Council Minutes
- 2. August 3, City Council Workshop Minutes
- 3. Receipt of Committee/Commission Minutes
 - Economic Development Commission, July 21, 2015
 - Bikeways and Trails Committee, August 6, 2015

- 4. Monthly Reports:
 - Administration
 - Community Development
 - Finance
 - Public Works
 - Park and Recreation
- 5. Verified Claims in the Amount of \$1,648,009.38
- 6. Purchases
- 7. License Applications
- 8. Amendment to Agreements with Canadian Pacific Railroad
- 9. Minor Subdivision Tollberg Homes, 5845 Buffalo Lane
- 10. Resolution Authorizing the Use of a New Voting System
- 11. Establish Project and Order Feasibility Study--Virginia/Dennison/Lilac Reconstruction, CP 16-01
- 12. Approval of LCCMR Grant Agreement
- 13. Developer Escrow Reductions
- 14. Receive Assessment Roll and Order Public Hearing Hanson/Oakridge Reconstruction, CP 14-01
- 15. Payment #5 (Final) 2014 Trail Rehabilitation and Construction Project, CP 14-05
- 16. Award of Quote Shamrock Park Replacement Fencing

ROLL CALL: Ayes - 5 Nays - 0

<u>PUBLIC HEARING - VACATION/FINAL PLAT - ZAWADSKI HOMES, 244 GRAND</u> AVENUE

Presentation by City Planner Kathleen Castle

The vacation request is for a portion of Centre Street and the public alleyway lying between Grand Avenue and North Owasso Boulevard. This application was denied due to a remnant of alleyway that would have been left. Those issues have now been resolved. The vacation is being joined by three adjoining property owners. Private access easements are being provided to retain access for the properties at 271 and 277 North Owasso Boulevard.

The second request is approval of a Final Plat to divide the property to create 10 lots for single-family residential use. The Final Plat includes an outlot over the north half of the alleyway to be conveyed to these property owners. The outlot will be conveyed to adjoining property owners for access.

The City is planning an extension of Grand Avenue to the west in 2016 to provide access to Lots 1-5. Until then, a temporary access road will be put in. The Site Development Agreement details storm water management, tree replacement and access.

Notices were mailed to impacted property owners and published in the City's legal newspaper. Comments received relate to an evacuation route for the neighborhood in an emergency. Staff

finds that the access concerns have been addressed and recommends approval of the vacation and Final Plat, including the Development Agreement with the conditions listed in the staff report.

City Attorney Joe Kelly stated that proper notice has been given for the public hearing.

Mayor Martin opened the public hearing.

Mr. Steve Galatowitsch, 224 Grand Avenue, stated that he contacted the Sheriff's Department and Fire Department to inquire if there is an emergency plan of evacuation for the neighborhood, as there is only one access to Soo Street. He learned that there is no written plan. He then contacted County Emergency Management and Homeland Security from whom he received a public version of an emergency plan. He referred to Appendix H on page 529 that identifies Ramsey County as a High Hazardous Flammable Train area. This is due to the oil being shipped from North Dakota. On page 536, there is a map showing incidents that have occurred. On page 534, it states that in May 2015, the U.S. Department of Transportation issued new rules regarding braking systems and tank car standards. These rules will be phased in over 10 years. On page 537, *Assumptions*, under No. 1 it states that the first priority is to assure the public safety of the public and responders. There are over 50 homes in the area. The heat from any such fire would delay adequate response. The houses are on a hill so any leak would travel down through the neighborhood. Appendix D references predesignated evacuation routes and directions. He asked if the bike path will be blocked from vehicle traffic.

Mayor Martin noted that High Hazard trains referenced on page 529 are those traveling through Ramsey County, not just Soo Street. **Mr. Galatowitsch** responded that on page 531 the Soo Street line is shown.

Mr. Lee Bryngelson stated that the agreement is satisfactory. He expressed concern about water in his basement and that he wants to be sure that water issues are addressed.

MOTION: by Councilmember Quigley, seconded by Councilmember Wickstrom to close the public hearing at 7:27.

VOTE: Ayes - 5 Nays - 0

Councilmember Quigley stated that the City has an emergency plan and asked what steps would be needed to address an evacuation route.

Public Works Director Maloney stated that there is a proposed trail connection to the boat launch/parking lot at the southeast end of Lake Wabasso. A paved access to that area would likely cost between \$55,000 and \$60,000 to construct. Mr. Schwerm added that the Public Works Superintendent is the City Emergency Manager. He regularly attends meetings with County emergency personnel. Several firefighters went to Colorado to train in the event of a rail emergency. The proposed Grand Avenue project next year will connect to Janice, which will provide additional access routes in the neighborhood. If the Council would like street connections to North Owasso Boulevard and Soo Street, then the vacation should not go forward because that would be the only practical location for a roadway.

Mayor Martin stated that the houses to the north on Cottage do not have access to Centre Street and are landlocked. This vacation does not change the nature of the situation in that neighborhood.

Councilmember Wickstrom stated that she would support a trail to the park at Lake Wabasso for an emergency exit. The trail would be drivable, and the trails are plowed. She would like to see that included in the street project next year. She noted that the vacation creates a private drive with an easement agreement. At this time, neighbors get along but she would not want to create a problem for the future. Ms. Castle explained that part of Centre Street would be conveyed to Zawadski Homes; another part would be conveyed to the properties at 271 and 277 North Owasso Boulevard. Zawadski Homes will convey their portion to 271 and 277 North Owasso Boulevard. Between those two property owners there will be an access easement conveyed and recorded at Ramsey County to assure future access.

City Attorney Kelly stated that Easement Agreement will be between two property owners at 271 and 277 North Owasso Boulevard. The agreement should be drafted in such a way that it benefits the property and runs with the land and as recorded. Mr. Schwerm added that the property owners are part of the vacation request.

Councilmember Johnson stated that she supports the vacation and believes there are plenty of local and state resources should any emergency occur before the street project is finished in 2016.

Mayor Martin responded that the Council supports looking at the issue and planning an emergency route from the neighborhood at the time of the road improvements for Lake Wabasso East.

MOTION:

by Councilmember Quigley, seconded by Councilmember Johnson to adopt Resolution 15-60, approving the Vacation request, submitted by the Zawadski Homes, et al, vacating the interest of the public in certain public right-of-way abutting 244 and 236 Grand Avenue, 271 and 277 North Owasso Bouslevard, and adjacent vacant land, subject to the following:

- 1. Approval of the Final Plat, Owasso Beach, by the City Council.
- 2. Executed conveyances shall be prepared by Zawadski Homes for Outlot A, and by the owner of 271 No. Owasso Boulevard for an access easement prior to the City recording Resolution 15-60.
- 3. Resolution 15-60 approving the vacation request shall be recorded with Ramsey County prior to the City endorsing the final plat.

This approval is based on the following finding:

1. The right-of-way proposed for vacation no longer serves the needs of the public.

ROLL CALL: Ayes: Johnson, Quigley, Springhorn, Wickstrom, Martin

Nays: None

MOTION: by Councilmember Johnson, seconded by Councilmember Wickstrom to approve

the Final Plat application submitted by Zawadski Homes, Inc., to subdivide the property at 244 Grand Avenue and adjacent vacant land, and authorize execution

of the Site Development Agreement, subject to the following:

1. A public use dedication fee shall be submitted as required by ordinance. Credit shall be given for the existing dwelling.

- 2. The Applicant shall obtain permits from Ramsey Washington Metro Watershed District, and other agencies as needed prior to the City's issuance of a grading permit or building permit.
- 3. Municipal water and sewer shall be provided to all lots.
- 4. A Tree Preservation and Replanting Plan shall be submitted for review and approval by the City Planner. Replacement trees shall be planted in accordance with the City's Woodlands and Vegetation Ordinance.
- 5. Grading, Drainage and Erosion Control Plans shall be submitted with each building permit application.
- 6. Final site grading and utility plans are subject to review and approval by the City Engineer.
- 7. Title to Outlot A shall be conveyed to the property owners of 271 and 277 North Owasso Boulevard.
- 8. The development of this subdivision shall comply with the comments of the Lake Johanna Fire Department dated March 19, 2015. If construction on Lots 1 thru 5 is proposed prior to the completion of the City street improvements, the Developer shall submit access and fire hydrant plans for those lots that comply with the requirements of the Lake Johanna Fire Department.
- 9. The applicant is required to enter into a Site Development Agreement and Erosion Control Agreement with the City. Said agreements shall be executed prior to the issuance of any permits for this project.
- 10. Subject to adoption of Resolution 15-60 by the City Council, vacating certain street right-of-way, accruing as shown on the final plat.
- 11. These approvals expire within one year of the date approved by the City Council unless the plat of Owasso Beach has been recorded with Ramsey County.

This approval is based on the following findings:

- 1. The subdivision is consistent with the policies of the Comprehensive Plan.
- 2. The subdivision will not conflict with or impede the planned use of adjoining property.
- 3. The proposed plat complies with the subdivision standards.
- 4. The Final Plat is consistent with the Preliminary Plat approval.

ROLL CALL: Ayes: Quigley, Springhorn, Wickstrom, Johnson, Martin

Nays: None

GENERAL BUSINESS

AUTHORIZING ISSUANCE AWARDING SALE PRESCRIBING THE FORM AND DETAILS AND PROVIDING FOR THE PAYMENT OF \$10,000,000 GENERAL OBLIGATION BONDS, SERIES 2015A

Presentation by Finance Director Fred Espe

The \$10 million General Obligation Bonds are broken down into four components:

General Obligation Improvement Bonds	\$ 900,000
General Obligation Water Revenue Bonds	\$7,155,000
General Obligation Sewer Revenue Bonds	\$1,675,000
General Obligation Surface Water Revenue Bonds	\$ 870,000

TOTAL: \$10,000,000

The majority of the bonds are water revenue bonds that relate to the Water Treatment Plant and also infrastructure related to street reconstruction and the Lexington Avenue Watermain plus a SCADA System Upgrade. The water revenue bonds will be repaid by revenue generated in the Water Fund.

The improvement bonds are for the Hanson/Oakridge/Nottingham Street Reconstruction and the Turtle Lane/Schifsky Road reconstruction. Improvement bonds will be repaid through special assessments by benefitting properties.

The Sewer Revenue Bonds are for various sewer infrastructure projects and will be repaid by revenue generated within the Sewer Fund.

Surface Water Revenue Bonds are for infrastructure for Hanson/Oakridge/Nottingham street reconstruction, Turtle Lane/Schifsky street reconstruction and Lexington Avenue reconstruction. Bonds will be repaid by revenue generated in the Surface Water Fund.

On July 13, 2015, the City Council authorized the sale of General Obligation Improvement Bonds, series 2015A. On August 5, 2015, staff participated in a rating conference with Standard & Poor's. The City's rating remains at AAA, the highest rating possible. This rating is based on the findings that the City has: 1) a very strong economy; 2) very strong management; 3) very strong budgetary performance; 4) very strong budgetary flexibility; 5) very strong liquidity; 6) adequate debt and contingent liability position; and 7) a strong institutional framework score.

Seven competitive bids were received on August 17, 2015 by Springsted. The low bid is from FTN Financial Capital Markets at an interest rate of 2.4698%, which is below the estimated rate of 2.7605%.

Staff is recommending awarding the bid to FTN Financial Capital Markets. Closing is scheduled for September 17, 2015.

Mr. Espe introduced Ms. Terry Heaton from Springsted to answer any questions.

Mayor Martin asked if the difference in interest rate is a significant difference. Ms. Heaton stated that the City received a premium bid that provides some cash. The amount between the premium and bond issue must be under \$10 million. The City will receive the same amount of money, but the bond issue awarded at this meeting is in the amount of \$9,690,000 because more cash was paid up front.

On this bond issue, the difference between the estimated 2.7605% interest rate and the interest rate received of 2.4698% amounts to approximately \$300,000.

Mayor Martin asked the difference between Standard & Poor's "strong" rating and "adequate" rating. Ms. Heaton explained that a grid is used to look at total debt to total expenditures. There are larger payments that are paying off retiring bonds. That pushed the City into the "adequate" category. The most important measure is if the City has the money to make all the payments.

Mayor Martin explained that the Water Treatment Plant is the biggest infrastructure project ever undertaken by the City, which is the reason for issuing bonds. The Water Treatment Plant will benefit everyone by removing iron and manganese from the water.

Councilmember Wickstrom commended Mr. Espe and his department for the continued excellent work and preserving the AAA bond rating with the change in staff during the last year and a half.

MOTION: by Councilmember Wickstrom, seconded by Councilmember Johnson to adopt

proposed resolution #15-69 authorizing issuance, awarding sale, prescribing the form and details and providing for the payment of \$10,000,000 general obligation

bonds, Series 2015A.

ROLL CALL: Ayes: Springhorn, Wickstrom, Johnson, Quigley, Martin

Nays: None

PUD CONCEPT STAGE - ELEVAGE DEVELOPMENT GROUP, 155-173 COUNTY ROAD E, 185 COUNTY ROAD E, 3500 RUSTIC PLACE, 3521 RICE STREET

Presentation by City Planner Kathleen Castle

Elevage is presenting a Concept Stage PUD to redevelop the subject properties with mixed use residential and commercial development. The property is north of I-694 and west of Rice Street; it consists of 4.14 acres with frontage on Rice Street, Rustic Place and County Road E. Existing improvements include three single-family homes and a commercial shopping center of 34,887 square feet. Adjacent land uses include low density residential, commercial and commercial development in the City of Vadnais Heights. The commercial shopping center is zoned C2, which allows restaurants, fuel stations, banks, liquor stores, hardware stores and general retail.

The proposed project is to redevelop the four properties with a high density market rate apartment building with 100 units. The building is L-shaped running along the north and west

side of the property with five stories on the west leg and four stories on the north leg. A restaurant of 6,576 square feet is located in the northeast corner and a small retail building of 1,868 square feet on the corner of Rice Street and County Road E. Access is being considered off Rice Street and County Road E. The applicant is seeking flexibility on requirements relating to setbacks, height, and parking lot design.

The existing land use designation is C, Commercial and RL, Low density residential. The applicant seeks to rezone the site to MU, Mixed Use, which requires a Comprehensive Plan Amendment. The property, with the exception of 3521 Rice Street, is within Policy Development Area (PDA) #18. PDA's identify underutilized sites in the City and establishes policies and goals for that site. The commercial parcel is zoned C, Commercial and O, Office. This is also Targeted Redevelopment Area #2, which recognizes adjacent low density residential and the need for redevelopment to have a low impact on that neighborhood.

The City's Highway Corridor Transition Study identifies this property for potential expansion that would include high density residential and mixed use. The Economic Development Authority (EDA) lists this property in its 2015/2016 Work Plan for redevelopment and notes the need to address infrastructure for the new interchange. Mixed Use allows up to 45 units per acre. The approximate density proposed is 41 units per acre. Mixed use with high density residential and commercial may be compatible if there are design strategies to minimize impact to adjacent residential properties. This means adequate structure setbacks, a buffer and attention to the height of any planned building.

Staff finds that the proposed high density apartment building would be best located on the western portion of the site due to site characteristics, proximity to the transportation corridor and the low-density residential area to the north. A five-story building would exceed the City's limit of 35 feet and would have a visual impact on the residential neighborhood to the north. Added height would be allowed with increased setbacks from the property lines. The Lake Johanna Fire Department had no issue with the proposed building height but did comment on requirements for access.

Access is proposed off Rice Street and County Road E. A traffic impact study would be required from both Ramsey County and MnDOT. Surface parking is planned for 162 stalls. Underground parking is planned for the apartment building. There is not enough information at this time to determine if parking requirements are met. A minimum 20-foot setback is required from residential lot lines and the street right-of-way.

Property owners within 350 feet were notified of the proposal. Comments of opposition focus on land use compatibility, density, public safety, traffic, visual impact, architectural design/scale and environmental impacts. The developer held a neighborhood meeting in July. The Planning Commission reviewed this proposal at its July 28, 2015 meeting and heard public testimony. The Commission found that the proposed uses are appropriate with the proximity to arterial roadways but expressed concern about impacts to the residential property to the north. There was also expressed concern about traffic and access to parks, trails and green space.

The Council is asked to review the proposal and identify issues that need to be addressed. Should the application move forward, the following will be required: 1) Comprehensive Plan Amendment; 2) Rezoning; 3) Preliminary/Final Plat; 4) Planned Unit Development - Development and Final Stage reviews.

Mr. Michael Mergens, Co-Owner Elevage Development Group, stated that the Concept Stage PUD is optional to receive public comment and develop a good project. Elevage plans to close on the shopping center property by the end of the month and move forward with development. That parcel is zoned Commercial. Without rezoning, development could have been proposed with allowable uses. However, Elevage desires to build a quality development of Mixed Use. Rather than just rezoning to Mixed Use and proposing allowable businesses, the need for more apartments in Shoreview was recognized. The building proposed would have a green roof, atrium and top floor with floor-to-ceiling glass, which come at significant cost. Four parcels have been consolidated for the best layout. Design details will be part of the next review. What is being looked for is feedback on placement of the proposed components and whether the area planned as a restaurant should be a restaurant or retail.

Planning Commission Chair Steve Solomonson stated that the biggest concern is the intensity of what is proposed--a restaurant with a high density apartment building. There are concerns about the number of people filtering into the neighborhood, height of the buildings and access to green space. The question is how to buffer a five-story building. There was discussion about shifting the apartment building toward County Road E, but public comment expressed concern about creating a cove effect that would be a public safety problem. There is a lot of intensity for the size space with the apartment building, a large shared parking space and restaurant.

Mayor Martin opened the discussion to public comment.

Mr. Dennis Hamilton, 3633 Rustic Place, stated that the neighborhood believes this is a good site for redevelopment. However, the proposed development is too big with no real transition to the neighborhood. At this time, there are 76 landmark trees between the neighborhood and the site that have worked for years as a buffer. Those trees would be removed. Increased setbacks will not allow privacy. If the green space has to be on the roof, the project is too big. Green space needs to be on the ground. Residents would like to see some commercial space in the area with access for pedestrians and bikes. The viability of such a large project is in doubt. A luxury apartment building on this site will not have the amenities of access to parks and trails. Whatever is built will be there for a long time. As a gateway to the City, careful planning is needed. Residents want to see the right size development for the site and provide a good transition to the neighborhood. There is concern about rental and whether such a large building can be successful. A previously built apartment tower is only 20% occupied. The proposal is not close to what it should be but off by a lot.

Mr. Nathan Anderson, 3565 Rustic Place, stated that residents do understand that this site will be redeveloped, but residents feel like bystanders. This is a very complicated problem. He asked the meaning of flexibility under a PUD. He stated that flexibility can be a devastating word in fostering livability for residents. He referred to Highway Corridor Transition study recently contracted by the City to determine best potentials for redevelopment of highway

corridor sites. He noted that the study cautions development of his neighborhood to include consideration of impacts of noise, traffic and speeds may have on homes along the arterial roadways. The study refers to a windshield survey of the community. He asked how a survey of a community can be done by driving down the street of a neighborhood. The study is a blueprint for local government to have a developer come in. The study does not include any assessment of the impact to the neighborhood. There is no input on what will happen to the Rustic Place neighborhood. Mixed Use is proposed next to large (almost estate size) neighborhood lots full of trees. There is not enough room to buffer what is proposed. The study is in direct opposition to Shoreview's Comprehensive Plan and codes. The study does not mean the development should be high density. There needs to be flexibility in interpretation of the study. Continued study is needed of detrimental impacts to the neighborhood.

Mrs. Becky Harshauer, 3562 Rice Street, stated that her zip code is Shoreview, but technically she lives in Vadnais Heights. However, she received a notice and wanted to note that they are being told that an apartment building will have less traffic than retail. Retail would have distributed traffic. Restaurant and apartment traffic would impact the rush hours when there is already a struggle with traffic at that time. More apartment buildings are not needed in Shoreview, not even two stories. Residents would prefer retail because buildings would be one story and there would only be business traffic. Upscale retail such as Kowalski's, women and children's clothing, Boston Market. There is already a restaurant planned at the Rainbow site. Elevage has two business registrations with the Minnesota Department of Commerce. Both businesses are listed at the same address, which is different from the Bloomington address given by Mr. Mergens, which is troubling. In the Stillwater newspaper, it was mentioned that Elevage was fired by the city for missed deadlines. New apartment buildings are required to have a percentage of low income units. Also, there is no access shown to Owasso Beach or Snail Lake Beach. Residents do not want an apartment building.

Mr. Jim Shea, 123 Radisson Road, NE Blaine, stated that he works for Pet Junction, one of the current retail stores in the existing shopping center. He would like to see this pet facility remain. It is upscale and provides training. There are people that come from many towns outside the Twin Cities to train their pets. The business is very lucrative and has been on this site for 20 years. It is important to look at what is good for the economy. He would like to see a restaurant and other retail. There is little in the area with good retail services.

Mayor Martin closed the public comment period at 9:00 p.m.

City Planner Castle responded to the question about flexibility within a PUD. She explained that a PUD is used to encourage creativity and innovation. With redevelopment, it is difficult to conform to Code requirements. The PUD process provides flexibility. In return, the City needs to receive a benefit from the project, such as meeting City goals for economic development or housing, or providing transportation improvements for the community. Those are the types of things staff looks for in a PUD.

Mayor Martin asked about the possibility of moving the east/west wing to the south, which is the shorter of the two segments. Mr. Mergens indicated that location on the map. He further stated that Elevage Development Group is registered with the Secretary of State of Minnesota with a

registered address. The address he provided is the address of his law firm. Elevage was not fired by Stillwater.

Councilmember Johnson asked Mr. Mergens to share some success developments he has been involved with. **Mr. Mergens** stated that he was the lead attorney on a six-story apartment building in downtown Minneapolis that was a \$50+ million project, the lead attorney on a project in Golden Valley and another project in Blaine. He emphasized that the intent of Elevage is to work with the City. Being told the development won't work is not constructive. Factual feedback is needed to refine it. It is not viable to redevelop the entire site with retail. The apartment building is a vital part of making the retail viable.

Mayor Martin asked who the clientele would be for the apartment building. **Mr. Mergens** stated that there are different requirements that can require low income apartments, such as TIF Districts. The proposal is for a market rate apartment building. There will be a variety of incomes. Their market study shows more than a 1000 units needed with incomes over \$40,000 by 2020 in Shoreview. At this time, no such projects are planned.

Councilmember Wickstrom asked the pros and cons of moving one portion of the apartment building to the south. MnDOT mentioned noise and she asked if there would be a noise wall. People on the south end of the apartment building will see the freeway or a noise wall and her concern is if that impacts the desirability of the building. **Mr. Mergens** stated he does not believe the apartments on the south end will impact the desirability of the building. There are those who will like the quick accessibility to the freeway, and there is a dynamic view to downtown St. Paul. Mr. Maloney added that MnDOT is not planning a noise wall on that side of the freeway with the lane addition.

Councilmember Wickstrom stated that the proposed building does not look residential. It has a box look, which is not like other buildings in Shoreview. She asked if more features can be added to the building. **Mr. Mergens** stated that is the type of information he is looking for. The next stage will have such details.

Councilmember Wickstrom expressed other concerns about traffic. She asked the pros and cons of closing off Rustic Place. She asked if more green space can be incorporated. She asked what types of retail would be viable and if retail would be viable on the first floor of the apartment building. **Mr. Mergens** stated that there is more potential for retail on Rice Street, but not in the back of the site on the first floor. There tends to be tension between residents and retailers, and most apartment buildings are not including retail. He further stated that market studies have been done. The apartment building would not be proposed if they did not think there would be close to 100% occupancy.

Councilmember Wickstrom stated that younger people want amenities, but there are not many at this site. **Mr. Mergens** stated that one of the desirable factors is that people want to live in Shoreview. He added that it is not just transient people who move into apartments. Apartment living has become a lifestyle, and many move into apartments with the intent of living in them for a long time.

Councilmember Quigley stated that he sees the main issues as buffering and height. He asked about flipping the building so that one leg is on the south side. The history of small retail at that site has not been successful. Added traffic will be minor to the traffic already there. With good lighting he does not see public safety as an issue. Added buffering would be well received. One difficulty is that there is no playground, but he noted another building at Victoria and County Road E without a playground. It will take flexibility to fit the development well on this site.

Mayor Martin asked about the possibility that the project does not work. **Mr. Mergens** responded that it is important to do all due diligence, rely on expert projections and decide what can be developed to meet needs and projections. With the \$20 million being invested, a lot of time is spent on such studies and making those decisions. There is a risk to any development. Everything he has studied points to Mixed Use for more residents that would support a smaller retail project.

Mayor Martin responded the City's Corridor Study was a followup to a Policy Development Area study that was established before the last Comprehensive Plan. The City has always done long-range planning. This strip mall is a blighted area. Many different types of shops in that strip mall have not succeeded. She agreed with Mr. Shea that Pet Junction is a success, and the City is not rejecting Pet Junction. The owner has put the strip mall up for sale. Her concerns are about green space. The height could be modified by moving it to the south. The current height would need greater setbacks. Trees are important and how trees would be replaced. The apartment building would serve as a bit of a sound barrier to the neighborhood. There are nuisance properties to the west and north. Those problems would not be solved with just a retail development. If this development proceeds, it would solve the problems with some of the nuisance properties. Further, the Corridor Study is an indicator of what could happen but it is not cast in stone.

Councilmember Springhorn also urged finding a place for Pet Junction. He expressed appreciation for all the comments. He does not like to see statements that renters do not care about the land. There are places where there are problems with renters and places where renters are great neighbors. He does not want renters to not be welcomed into Shoreview. If the building is moved south, he suggested trying to fit in a small playground.

Councilmember Johnson agreed with Councilmember Springhorn. The community continues to want more restaurants. She asked that component be made a priority. She suggested using crime prevention through environmental design and use that as a tool to see what crime prevention mechanisms can be put in place.

Mayor Martin stated that no decision is made at this meeting. The next review will also be a public hearing. She added that when she built her dream home in 1967, the City rezoned for an area with 986 apartments that completely surrounded her home. What she learned is that setbacks are very important, height is important, green space is enormous and today she can say that it is not a bad thing to have those apartments in the area.

ADJOURNMENT

City Manager

MOTION: by Councilmember Johnson, seconded by Councilmember Springhorn to adjourn the meeting at 9:35 p.m.

VOTE: Ayes - 5 Nays - 0

Mayor Martin declared the meeting adjourned.

THESE MINUTES APPROVED BY COUNCIL ON THE ___ DAY OF ____ 2015.

SHOREVIEW PLANNING COMMISSION WORKSHOP MEETING MINUTES MAY 26, 2015

CALL TO ORDER

Chair Solomonson called the May 26, 2015 Planning Commission meeting workshop to order at 6:00 p.m.

ROLL CALL

The following Commissioners were present: Chair Solomonson; Commissioners, Doan, Ferrington, McCool, Peterson, Schumer, and Thompson.

DISCUSSION

Accessory Structures

The Commission reviewed options regarding the amendment to the City's accessory structure regulations for residential properties. In general, Commission members were supportive of revised regulations that did have a tiered approach to the permitted size of a structure based on the lot size and size of the dwelling unit. Options were reviewed that increased the permissible square footage by percentage of the dwelling unit foundation area, eliminated a cap, increase permitted areas for second detached accessory structures on larger lots and increase the required structure setbacks.

Commission members were supportive of potentially allowing more square footage on larger properties, increasing required structure setbacks but were concerned about not have a maximum area defined.

Planning Commission Work Program/Priorities

The Commission was asked to think about work programs and priorities to assist staff in prioritizing tasks. Recent discussions with the Planning Commission have addressed accessory structures and building height. Some Commission members have expressed interest in addressing other issues. Prioritizing these items will assist staff in managing workload.

Comprehensive Plan Update

The Metropolitan Council recently revised their policy plans and system statements regarding transportation, housing, parks and water resources. Local communities will be notified later this year of the policy changes and impact on the local community. Once the System Statements are received, they will be used to determine the extent of changes needed Shoreview's plan. The Staff will then begin to work on establishing a process for the Comprehensive Plan update.

ADJOURNMENT

The workshop adjourned at 6:55 pm.

SHOREVIEW PLANNING COMMISSION WORKSHOP MEETING MINUTES JUNE 23, 2015

CALL TO ORDER

Chair Solomonson called the June 23, 2015 Planning Commission meeting workshop to order at 6:45 p.m.

ROLL CALL

The following Commissioners were present: Chair Solomonson; Commissioners Doan, Ferrington, McCool, Peterson, and Schumer.

Commissioner Thompson was absent.

DISCUSSION

Assistant to the City Manager, Rebecca Olson, presented the Committee/Commission Handbook. The Handbook outlines the roles and responsibilities as well as other items such as the open meeting law, appointment policy and attendance policy. The Commissioners reviewed the handbook and discusses some of its contents including communication with the public.

ADJOURNMENT

The workshop adjourned at 6:57 pm.

SHOREVIEW PLANNING COMMISSION MEETING MINUTES July 28, 2015

CALL TO ORDER

Chair Solomonson called the July 28, 2015 Shoreview Planning Commission meeting to order at 7:00 p.m.

ROLL CALL

The following Commissioners were present: Chair Solomonson; Commissioners, Doan, Ferrington, McCool and Schumer.

Commissioners Peterson and Thompson were absent.

APPROVAL OF AGENDA

Chair Solomonson noted the number of people present to speak to the last item on the agenda. Once the development team arrives, he proposed moving that item for earlier consideration.

MOTION: by Commissioner Schumer, seconded by Commissioner Doan to approve the July 28, 2015 Planning Commission meeting agenda as presented.

VOTE: Ayes - 5 Nays - 0

APPROVAL OF MINUTES

June 23, 2015 Regular Meeting

MOTION: by Commissioner Ferrington, seconded by Commissioner McCool to approve the June 23, 2015 Planning Commission meeting minutes as presented.

VOTE: Ayes - 4 Nays - 0 Abstain - 1 (Schumer)

REPORT ON CITY COUNCIL ACTIONS

Presentation by City Planner Kathleen Castle

The following items were approved by the City Council as recommended by the Planning Commission:

- Conditional Use Permit Marlowe & Karin Hamerston, 771 Larson Lane
- Minor Subdivision Darwin DeRosier, 899/893 Tanglewood Drive
- Minor Subdivision Brian and Rene Maleski, 5825 Buffalo Lane

MOTION: by Commissioner Schumer, seconded by Commissioner Doan to move item 4E on

the agenda to be the first item of consideration.

VOTE: Ayes - 5 Nays - 0

PLANNED UNIT DEVELOPMENT-CONCEPT REVIEW

FILE NO: 2584-15-27

APPLICANT: ELEVAGE DEVELOPMENT GROUP, LLC

LOCATION: 155-173 WEST COUNTY ROAD E, 185 WEST COUNTY ROAD E,

3500 RUSTIC PLACE AND 3521 RICE STREET

Presentation by City Planner Kathleen Castle

This application proposes redevelopment of the subject properties located at I-694 and Rice Street. A Concept Plan with mixed use residential and commercial is being presented. The properties combined would consist of approximately 4.14 acres with frontage on Rice Street, Rustic Place and County Road E. Currently, the property has three single-family homes, zoned R1, Detached Residential; and a retail center of 34,887 square feet, zoned C2, Commercial. Surrounding land uses include low density residential to the north and west, commercial to the east and south, and the City of Vadnais Heights to the east. The property zoned Commercial allows restaurants, gas stations, banks, liquor stores, hardware stores and general retail. These uses could be proposed with only a Site and Building Plan Review. A proposal that complies with City standards would mean granting approval of the Site and Building Plan Review.

The mixed use development proposed consists of a 100-unit high density market rate apartment building on the western portion of the site. The apartment building would be L-shaped with the north/south leg consisting of 5 stories and the east/west leg consisting of 4 stories. The building would be of a sustainable design with parking provided in a surface lot as well as below grade. Commercial uses are planned on the east portion of the site. This includes a retail building of 1,858 square feet and a restaurant of 6,576 square feet.

The applicant is requesting Planned Unit Development (PUD) zoning to allow some flexibility from the Development Code. The building height maximum is 35 feet, which may be exceeded under a PUD with increased structure setbacks. The minimum setback is 30 feet from all property lines. Building setbacks for commercial buildings is a minimum of 50 feet when located adjacent to a residential land use. A parking lot adjacent to a residential land use is required to have a 20-foot setback.

The residential density is proposed at approximately 41 units per acre, less than the allowed 45 units per acre with the Mixed Use land designation. Design strategies will be used minimize impacts to the low-density residential neighborhood to the north. Access is proposed off Rice Street and County Road E. Both Ramsey County and Mn/DOT require a traffic impact study for review at the Development Stage Review.

Surface parking includes 162 stalls. There will be underground parking for the apartment building. Additional information is needed to determine whether the proposed parking is in compliance. A minimum of 2.5 stalls per unit is required for apartment buildings. A minimum 20-foot setback is required from the street and residential lot lines.

The Concept Stage is the first of a three-stage process in a PUD. The purpose is to determine the appropriateness of the development and land use compatibility. Public input is taken to identify concerns to address at the Development Stage PUD review.

This property is located in the Policy Development Area (PDA) No. 18 of the City's Comprehensive Plan. The commercial site is designated for commercial and office uses. The low density residential zoning for lots immediately to the north is to remain in place until a redevelopment application is received. A Comprehensive Plan Amendment will be needed to change the residential and commercial land use to Mixed Use. This site is also identified as a Targeted Redevelopment Area (TRA) No. 2. TRAs focus on underutilized business and commercial properties in the City.

The Highway Corridors Transition Study recently completed discusses expanding uses to include high density residential and mixed use for areas north of I-694. The 2015/2016 Work Plan of the Economic Development Authority (EDA) focuses on options for redevelopment and continued efforts to address infrastructure for the I-694/Rice Street interchange. Mixed use with high density residential may be compatible with the adjacent low density residential use if design strategies, such as setbacks, height and buffers, minimize impacts to nearby residential properties.

Staff finds that the location of proposed uses makes sense for the site characteristics, proximity to the transportation corridor and adjacent low-density residential neighborhood. The Lake Johanna Fire Department has no concerns regarding the apartment building height. The main concern is visual impact to the single-family residential to the north.

Notices were sent to property owners within 350 feet of the site. Comments oppose the proposal for the following reasons: land use compatibility, density, public safety, traffic, visual impact, architectural design and scale; and environmental impacts. The developer held a neighborhood meeting. Unfortunately, only one resident attended.

Michael Mergens, Elevage Development Group, 4470 W. 78th Street Circle, Bloomington, MN, stated that site is a premium corner, and his firm is committed to a premium development for this gateway development to Shoreview. They are working hard to meet goals of the City with what they have learned from experts and develop a project that will fit in with the neighborhood. The east/west leg of the apartment is shown on the north property line because it was thought it would provide a nice break from parking and retail. However, it would be just as easy to locate it on the south boundary and push the parking closer to the adjacent neighborhood. The restaurant is planned to be high end. It will not be a chain or a bar. It is his belief that the building is less of an impact than parking, but the building can be pushed further south. A berm will be added along the north property line with trees to increase privacy for adjacent residents. This site is in need of redevelopment. With the anticipated new interchange and bridge, this is a

good site for mixed use. This was also the conclusion of the City's Highway Corridor Transition Study. Rather than focusing on one commercial property, his firm wanted to build something better with the combination of multiple properties. In considering design alternatives, plans are to make the apartment building special. The fifth floor will be floor-to-ceiling glass with premium units for corporate use that are fully furnished. Just the infrastructure for floor-to-ceiling glass will be \$1.8 million. There is an atrium and a sustainable green roof. Rain storage capture will be stored underground.

Regarding traffic flow, he plans to work with Ramsey County. There are currently two access points from Rice Street. One is being eliminated. It is his belief that a right-in/right-out access could work.

Commissioner McCool asked when notices were sent for the neighborhood meeting and if the PDA includes the residential properties. Ms. Castle stated she believes notices were mailed approximately six days before the meeting took place. It was held in the neighborhood shopping center. The PDA is only for the commercially zoned site. Commissioner McCool asked if the restaurant is still viable, if Ramsey County does not allow access off Rice Street. Further, he asked the setback from the property line to the north. Mr. Mergens responded that a more complete traffic study will be needed to make the internal flow work. The restaurant is destination oriented, not a convenience. That means customers will use the access available to reach this restaurant. His preference would be an in-and-out access with two-way traffic. He estimated a 30- to 40-foot setback. Commissioner McCool asked if there will be apartments both sides. Mr. Mergens answered, yes.

Commissioner Doan asked if there are planned improvements to the interchange at I-694 and Rice Street. Ms. Castle explained that the traffic impact study will be completed by the developer and submitted to Mn/DOT, Ramsey County and the City for review. There will be improvements to the interchange and to the bridge. The interchange has been scheduled, but the bridge has not yet been designed or scheduled. Commissioner Doan noted a letter from Ramsey County stating that the existing access off Rice Street must be closed. Access can only be off County Road E. Ms. Castle stated that the developer is aware of the County comments. The developer will be working with the County to find out options.

Commissioner Doan asked for more background information on Elevage. Mr. Mergens stated that he is a Land Use Attorney. He has worked with prestigious land use attorneys, such as Bob Hoffman who developed the Mall of America. He has two partners who have experience in retail development. Elevage owns a development in Blaine that has a strip center and plans to develop an outlot.

Chair Solomonson asked how the density for the apartment building is calculated, as that portion of the proposal is 2.4 acres and there was discussion about shared parking. Ms. Castle responded that the gross site area is used to calculate density and this site area was estimated. The surface parking will be designed for the uses to share that parking, whether apartments, restaurant or retail. Chair Solomonson asked the distance to the adjacent north residential property. Ms. Castle answered, 30 to 40 feet.

Commissioner Ferrington asked the size of buildable area with the setback requirements. Ms. Castle stated that as there is no proposed building height, the setbacks are not known.

Commissioner McCool asked the height and setback of the berm. **Mr. Mergens** estimated the setback to be 30 to 40 feet. Commissioner McCool asked

Commissioner Ferrington asked how the new Rice Street bridge will impact the project. **Mr. Mergens** stated that the new bridge will ease traffic, but he does not want to hold up redevelopment because this is a premium corner.

Chair Solomonson stated that the building is contoured on the south end and the entrance to the garage is shown to the north. He asked how that would impact the entrance to the garage. **Mr. Mergens** responded that it depends on what can be worked out with Ramsey County. At this time, he believes the best development would be three stand-alone buildings. If there is interest in more retail, that could be achieved. If the development changes to a strip center, then it would not be possible bring in a restaurant.

Chair Solomonson opened the discussion to public comment.

Ms. Marcia Figus, 3538 Rustic Place, stated the notice for the neighborhood meeting arrived two days before the meeting. The notice was unsigned, and she did not attend. This area is a triangular island surrounded by Vadnais Lake, Grass Lake and I-694. There have been many issues in this neighborhood. Introducing 100 adults, teens and children into this small neighborhood will mean that children will have no outlet but the yards, streets and railroad space. Security would be compromised by the sheer number of people. The property owners at 3520 Rustic Place will not see the sun from October to March, but the renters will have a direct view of all space. It is a reasonable expectation to be safe in one's home and yard. This invasion would take away her security in her home. The sheer number of new residents would make her vulnerable. Residents in the apartment building would be able to see her living which would be very uncomfortable to the point of mental anguish. Many in the neighborhood are seniors who have established equity. Planning policy is to not change the character of neighborhoods. She gave examples of decisions where added screening and landscaping were required to preserve the character of a neighborhood. The proposed development does not fit a neighborhood bordered by Vadnais Lake, Grass Lake and I-694. Trees do not grow on the north side of a 5-story building. The development is all asphalt and structure. Traffic will be significantly impacted with an apartment building, restaurant and drive-through coffee building. Congestion already exists at the intersection of Rice Street and County Road E. This is not the right concept plan for this site.

Ms. Kristi Tomas, 3584 Rustic Place, stated that neighbors are not against development but want to be sure it is a development that does not kill the neighborhood. This is an encapsulated neighborhood where residents know each other. There are no sidewalks leading in or out of the neighborhood and no access to a park. Residents use the streets for walking, children playing, biking, gathering. The community cares about its homes and residents. There are two group homes and two developmentally challenged children in the neighborhood. People have been hit by cars turning onto Rustic Place because the pedestrian traffic is not visible. Children in a

proposed apartment building will only have the parking lot, street or railroad property as choices for outdoor play. This development would kill the community and all that has been done by the residents to make it safe.

Mr. Mark Kapszak, 3628 Rustic Place, stated that he is a police officer. Currently, there are approximately 50 houses on Rustic Place and St. Marie. At an average of two cars per household, there are 100 cars. At 2.5 parking stalls per apartment unit, that would be an additional 250 cars to the neighborhood. That increase is dangerous for children. Because of the congestion, cars cut through the neighborhood during rush hour. Residents have had to step out into the middle of the street to slow cars down. Adding 250 cars will only add to the danger. The parked cars in an open parking lot along I-694 will become an open invitation for criminals. The neighborhood is dark at night and would be a prime target for criminals who don't find what they want in the parking lot. This development will drain resources of Shoreview. An apartment building on Lexsington, Shoreview Hills, had 278 emergency calls in one year. Midland Terrace had 181 emergency calls in one year. In all of Shoreview, there were 8,883 emergency calls. Those two apartment buildings account for 5% of emergency calls in one year. In his neighborhood, there is one call in an entire year. Neighbors can look out at a car passing and know who it is. The increased calls to the Sheriff's Department will be a drain on resources. The buffer berm with trees will not work. Trees will not grow because on the north there will be no sun. If the trees do grow, they will be good hiding for criminals coming into the neighborhood.

Mr. Curt Levitt, 3636 Rustic Place, referred to an article in the *Star Tribune*, July 21, 2015, by Jeremy Olson. A copy of the article was distributed to each Commissioner. The article talks about Minnesota being rated at the top nationally for children's well being. The article specifically reports the danger to children who do not have safe access to a park, schools, healthy food and health care. Mr. Levitt expressed his thoughts regarding the article. There may be deaths as a result of this new apartment building. The apartment would not have safe access to the Owasso Beach or Owasso Beach Park, where children will surely go. The route to Owasso Park will be one of the busiest streets in the County with the entrances and exits of County Road E, Vadnais Boulevard, a gas station, liquor store, Taco Bell. There is also a gas station on the east side of Rice Street with the on and off ramps to I-694 East and West, Caribou Coffee and a bar. Any teen from the apartment building on a bike going to the park will contend with all this traffic. They will have to finally cross the Soo Line Railroad. These types of conditions lead to deaths of children on bikes.

Mr. Nathan Anderson, 3565 Rustic Place, stated that he is a licensed building and remodeling contractor, specializing in historical restoration and problematic insurance claims. This proposal violates height, density, essential characteristic, reasonable use, privacy, public safety and setbacks. His calculations do not find anything imaginable below 75 people per acre. If there were to be maximum usage of space, there could be as many as 150 or 175 people in this proposal. The proposal is misleading with setbacks. The bottom corner key states one inch equals 20 feet. There is approximately one-half inch between the apartment building and the west property line, which may be 10 to 15 feet. That is not close to the 30 or 40 feet stated. Add one foot for each inch of added height and the proposal will not fit the site. It would be shortsighted to label the opposition heard at this meeting as a "Not In My Back Yard" issue. It

is about adherence to written regulations development laws and planning that the City has in great detail. It is about the Planning Commission and City Council not allowing this proposed illegal non-compliant plan to move forward. This proposal is initiated inquiry with private attorneys and multiple legal resources. This proposal's level of non-compliance is so overt that approval will create suspicion of official misconduct. If necessary, the neighborhood is prepared to file a complaint. Interrogatories and depositions of Commissioners and Councilmembers will seek to find out if anyone was unduly influenced to approve this proposal. Anyone who is an unwitting participant in the undermining of due process should withdraw from this decision to avoid any semblance of bias or cast a nay vote. Evidence to work around the codes and ordinance shall be met with extreme scrutiny and consequences. Having reviewed City Code, the only appropriate decision is to deny this proposal. The only recommendation should be to study the impact of a PUD on the neighborhood and provide accurate, unbiased data to further deliberate and draft an amendment to the Comprehensive Guide Plan. On behalf of the people of Shoreview and the Cardigan neighborhood, Vadnais Heights and citizens of Shoreview, a moratorium is requested on all noncompliant proposals until a study is conducted by an independent third party of acceptance by the City and its residents. This study should be conducted in a variety of modalities to include a person to person, door to door canvass of the neighborhood, which include an overview of acceptable density. Additionally, this study should include architectural design requirements that address a comfortable transition to the existing neighborhood. All development documentation and study needs to address and adhere to the City of Shoreview's laws, ordinance and Comprehensive Guide Plan. This is not an opposition to development but that development occur with the proper legal consideration that this PUD lacks. Misguided or misinformed approval of this development will bring an uproar of neighborhood response. The neighborhood is prepared to hold the Planning Commission, City Council and any regulatory committee accountable to the laws set forth. Please do not allow your decisions to tarnish, blemish or compromise the high standards that our officials and residents have instilled in our community.

Ms. Wendy Olson, 2094 Cedar Avenue, White Bear Lake, stated that she has been a customer of Pet Junction of many years. It is a training center pets for people all over the state. There are clubs that use the venue. Her concern is that a new building would be difficult for this business to afford and remain. It may put them out of business. That would be a big loss for the area and this community.

Ms. Hilary Fox, 181 St. Marie Street, stated that she echoes the comments of her neighbors. Further, she encouraged a thorough cross examination of Mr. Mergens' assertions. The building proposed sounds expensive. She asked the City to look into the type of professional being asserted is not someone who will want to be in a building that will overlook the interstate. The building will either end up empty, or low occupancy, or college students. She asked that the developer be held to the assertions being made.

Mr. Pat Foley, 295 Cottage Place, stated that his concern is traffic. Right now it is approximately one-half hour to reach his home. That is compounded with the train. He is not happy about this proposal. There is a high end restaurant in Little Canada and a Lindy's Steak House nearby. He is not convinced of the need for a high end restaurant. He noted that the

shopping center at this location took a hit with the development on Lexington with Target and Trader Joe's. An apartment building is not the solution.

Ms. Kay Sorgatz, 3800 Rustic Place, stated that she is very concerned about traffic because their property is on the curve. Her driveway is blind. She and her husband have been almost hit many times. A petition was raised to dead end the street, but there was not enough room for turn-around plows. Signage for right turn only means nothing. She is also concerned about crime. It is a comfort to know who drives past her house. She does not want to see the small town atmosphere of Rustic Place changed.

Mr. Anhil Toro, Rustic Place, stated that he is new to the neighborhood. He has seen this type of development before. People have no attachment or respect for the neighborhoods which get broken down. It cannot be controlled once it happens. He urged the Commission to stop it before it happens.

Commission Comments

Commissioner Ferrington expressed her appreciation for the overwhelming participation of this neighborhood. Some redevelopment of this area is necessary and will happen. The plan presented is problematic. She cannot imagine this much development in such a small area. A modified version may work, but 100 apartments is too many. The restaurant is appealing, but it would take too many variances for it to be built in that location.

Commissioner McCool expressed his appreciation for all the comments. He agreed that this site will be redeveloped. There has been a lot of study already completed with the Comprehensive Plan, the Corridor Study, which indicate redevelopment will happen. He also has concerns about this development. He encouraged that development team to do a traffic study as soon as possible. He would like to see a comparison of trip numbers in a residential and commercial alternative. He anticipates that commercial development will generate more trips than 200 apartment residents. The density and height feels too much. The building is too large a transition. He is intrigued with reversing the L so that one leg is along I-694. However, he had not considered the safety issues that could present. If that change is made, he would want to see lighting and crime prevention measures. He also likes the idea of a restaurant but is not sure if this is the right location. The heights presented are too close to the property to the north. No nearby recreation for children is troubling. While the parcel is limited, he would like to see some effort to provide a tot lot or some recreation to make it feel like it will fit in the community. It is important to understand that this site will be redeveloped and it will be done as responsibly as possible.

Commissioner Schumer stated he is impressed by the unity of the neighborhood. He did not appreciate the one speaker who was threatening if this development is approved. This is a concept design. Something is going to happen on that site. The City wants to hear ideas from the residents. The size of what is presented is too big. The developer is answering the desire of Shoreview for a new restaurant.

Chair Solomonson thanked everyone for coming. He stated that he agrees with the previous Commissioners' comments. This development does meet a need of the City. It would replace a blighted mall. It is very commercial to the south. But what is presented is too dense, too tall, too close to residential, and it adversely impacts the character of the neighborhood. He agreed that there is a problem without access to parks, which means new residents would spill into the existing neighborhood. He noted Midland Terrace apartments, a six-story building, which replaced a strip mall, but is 1000 feet from residential properties. A restaurant could go in with the current zoning. His biggest objection is the high density.

Commissioner Doan thanked everyone who listened to staff, the developer and neighbors. He understands the desire to keep the good parts. The question is what is the best this could be in the future and how can it compliment the neighborhood? Something needs to happen on this site. The question is whether this development is the best option for the City. There needs to be more vetted as to what could work on this site. There is definite concern with regard to height. There is a lot of asphalt. He would like to see more open space, more green space that is accessible at ground level for those not living in the building. There is a concern about the setback. If the L shape was flipped and inverted, there would be a lot more distance from the neighborhood. What the developer has characterized is what he believes Shoreview to be. He urged the developer to consider owner occupied units.

Chair Solomonson explained that no action is taken on a Concept Plan. This proposal will be considered at the August 17, 2015 City Council meeting.

Chair Solomonson called a five-minute break and then reconvened the meeting.

VARIANCE

FILE NO: 2581-15-24

APPLICANT: LUBOMIR & HANA KOUDELKA

LOCATION: 874 WESTVIEW DRIVE

Presentation by Economic Development and Planning Associate Niki Hill

The property is located at the south end of Westview Drive. The rear property line abuts Wilson Park. The trapezoid-shaped property has an area of approximately 16, 117 square feet. This application is to construct a four-season porch addition of 15 feet by 10 feet, which would extend into the rear setback. Currently, the closest point of the house is at the 30-foot rear setback. The new porch addition would reduce the rear setback by 10 feet to 20 feet. Therefore, a variance request is submitted.

The applicant states that the existing four-season porch serves as the only dining room in the home. With 10 people in the family, it is inadequate to accommodate everyone. Extending the dining room east or west are not options without major structural design to the house. To the west is the kitchen and all major utilities to the home; to the east is the living room and fireplace chimney. Widening the dining room east or west would also be cost prohibitive because of pitch of the roof and placement of the second story windows. The south or rear property line borders a

wetland, drainage ditch and City park. An extension to the south would not mean proximity to any other residence, usable space or any other building.

Staff believes that the criteria for a variance are met and that practical difficulty is present. The applicant is proposing use of the property in a reasonable manner. The addition will improve the livability of the home. The proposed four-season porch will enhance the appearance of the home and increase livable area. There are unique circumstances with the configuration of the property at the end of a cul-de-sac, which reduces the lot depth to less than the required 125 feet. As the property is adjacent to Wilson Park, no residential properties will be impacted by the reduced setback. Other properties on the cul-de-sac are angled in a manner so there would be no visible view of the proposed addition. The proposal is the most realistic option for the dining room expansion without major structural changes to the home.

Notices were sent to property owners within 150 feet. Three written comments were received in support of the project. Staff is recommending approval with the conditions listed in the staff report.

Chair Solomonson stated that he supports the variance. He asked if the deck would also be extended and whether screening is needed to the west because of the loss of a tree. Ms. Hill responded that a deck extension is planned. The deck can be extended up to 10 feet with no variance.

Commissioner McCool asked how close the deck would be to the property line when extended. Ms. Hill explained that the deck was not considered as part of the application because it can be extended up to 10 feet per Code. Commissioner McCool stated he is not sure of unique circumstances but understands the addition cannot go east or west and appreciates the fact that there will be minimal visibility of the addition. He would support the variance.

Commissioner Doan asked if the tree stump would also be removed. **Mr. Koudelka**, Applicant, stated that the tree stump is 5 feet from the extension. The stump may be used for a statue. He stated that there are no trees to the west.

Commissioner Ferrington agreed with the staff analysis and stated her support for the variance.

MOTION:

by Commissioner Schumer, seconded by Commissioner Ferrington to adopt Resolution 15-63 approving the requested variance submitted by Lubomir and Hana Koudelka, 874 Westview Dr, to reduce the required 30-foot structure setback from a rear property line to 20.0' for a four-season room addition. Said approval is subject to the following:

- 1. The project must be completed in accordance with the plans submitted as part of the Variance application.
- 2. The four season porch addition shall match the style and design of the current home.
- 3. This approval will expire after one year if a building permit has not been issued and construction commenced.
- 4. This approval is subject to a 5-day appeal period.

This approval is based on the following findings of fact:

1. The proposed improvement is consistent with the policies of the Comprehensive Plan, including the Land Use and Housing Chapters.

2. Practical difficulty is present as stated in Resolution 15-63

VOTE: Ayes - 5 Nays - 0

MINOR SUBDIVISION

FILE NO: 2583-15-26

APPLICANT: TOLLBERG HOMES LOCATION: 5845 BUFFALO LANE

Presentation by Economic Development and Planning Associate Niki Hill

This application is to subdivide the subject property into two parcels. The north Parcel A would be the vacant parcel and would be developed with a single-family home. Parcel B is the south parcel and is developed with the existing home, attached garage, detached garage and gravel driveway. The property consists of 0.95 acres with a lot width of 189 feet. The lot depth averages 200 feet. Both lots meet the minimum lot standards.

The Comprehensive Plan guides this property for Low Density Residential. A subdivision requires frontage on a public street, municipal sanitary sewer and water, drainage and utility easements. Both parcels are in compliance. Parcel A would be considered a key lot because the north property line abuts the rear property line of the property at 5899 Lexington Avenue.

Notices were sent to property owners within 350 feet. No comments were received. The Fire Marshal has no comments. The City Engineer recommends a 55-foot drainage and utility easement on the west portion of Parcel B that will encompass the wetland buffer and keep current drainage flowing to the wetland. In 2011, when Buffalo Lane was resurfaced, utilities were installed for a future home with a subdivision. A fee in lieu of assessment would be due for Parcel A upon the construction of a home on Parcel A.

Staff finds that the minor subdivision complies with the Development Cod and Comprehensive Plan. It is recommended the application be forwarded to the City Council for approval.

MOTION: by Commissioner Schumer, seconded by Commissioner Ferrington to recommend

the City Council approve the minor subdivision submitted by Nathan Jones, Tollberg Homes for the property at 5845 Buffalo Lane. The subdivision divides the property into two parcels, creating a vacant parcel (Parcel A) for single-family

residential development. Said approval is subject to the following:

1. The minor subdivision shall be in accordance with the plans submitted.

- 2. The applicant shall pay a Public Recreation Use Dedication fee as required by Section 204.020 of the Development Regulations before the City will endorse deeds for recording. The fee will be 4% of the fair market value of the property, with credit given for the existing residence.
- 3. Public drainage and utility easements shall be dedicated to the City as required by the Public Works Director. The applicant shall be responsible for providing legal descriptions for all required easements. Easements shall be conveyed before the City will endorse deeds for recording.
- 4. The existing detached garage and concrete drive on Parcel A shall be removed prior to the City endorsing the Deed for Parcel A.
- 5. Municipal water and sanitary sewer service shall be provided to resulting Parcel A.
- 6. The applicants shall enter into a Subdivision Agreement with the City. This agreement shall be executed prior to the City's release of the deeds for recording. A Development Agreement will also be required for the construction of a new home on Parcel A.
- 7. Tree removal requires replacement trees per City Code. City requirements for the tree removal and protection plan shall be detailed in the Development Agreement.
- 8. This approval shall expire after one year if the subdivision has not been recorded with Ramsey County

This approval is based on the following findings of fact:

- 1. The proposed land use is consistent with the policies of the Comprehensive Plan, including the Land Use.
- **2.** The proposed subdivision supports the policies of the Comprehensive Plan by providing additional housing opportunity in the City.
- **3.** The parcels comply with the minimum standards of the R1, Detached Residential District.

VOTE: Ayes - 5 Nays - 0

PUBLIC HEARING- COMPREHENSIVE PLAN AMENDMENT, REZONING, PRELIMINARY PLAT, PLANNED UNIT DEVELOPMENT-DEVELOPMENT STAGE*

FILE NO: 2585-15-28

APPLICANT: SHOREVIEW SENIOR LIVING LOCATION: 4710 CUMBERLAND STREET

Presentation by Senior Planner Rob Warwick

The City approved a PUD for this property in 2008 to allow a 105-unit Senior Residence that provides living options for independent living, assisted living and a memory care unit. With this PUD, a 6,000 sq. ft. office building was also approved. The Senior Residence and office building share a driveway access off Cumberland Street. At the time of approval, the residential property at 4696 Hodgson Road was not included in the plans.

Since completion of the senior residence, Southview has purchased the entire 4.5 acre site, which includes the site for the office building and the residence at 4696 Hodgson Road. The applicant is now proposing to construct a 34-unit senior apartment building on the enlarged site. The new building would match the exterior and architectural design of the senior residence. Parking would be available at the lowest level, and there would be a small surface parking lot. The two buildings would be connected with a skyway to allow sharing of services and facilities. The apartment building would be approximately 240 feet by 60 feet. The length of the building would run along Hodgson Road.

The application requests a Comprehensive Plan Amendment to change the planned land use from Office (O) and Medium Density Residential to High Density Senior Residential (HSR). Rezoning would maintain the PUD and zoning for R-3, Multi-Dwelling Residential. A Preliminary Plat is submitted to re-plat the property into a single parcel.

This property is in Policy Development Area #9 (PDA), as identified in the Comprehensive Plan in 2004. PDA #9 is guided in the Comprehensive Plan for High Density Senior Residential development. The Comprehensive Plan Amendment requested would rezone the 2 office sites and the 4696 Hodgson residence to High Density Senior Residential. Expanding the senior residential use is compatible with existing and planned land uses. It will provide a transition between the higher density to the south and lower density residential to the north. The traffic generated will be less than the previously approved office site. The Comprehensive Plan identifies a density range of 20 to 45 units per acre with HSR land use. The existing development has 32 units per acre. The proposal would be 30.8 units per acre.

Staff finds that the proposal meets the criteria for rezoning and complies with the Comprehensive Plan. Senior residential uses are less intensive and will not adversely impact surrounding low density residential uses. As an arterial road, Hodgson can accommodate the traffic generated. Senior uses generate low volume traffic and generally at off-peak hours. The developer will enter into an agreement with the City.

The Preliminary Plat would combine the four existing lots into one parcel. Staff finds the plat in compliance, except that easements are shown only over the existing storm water management basins and must be shown for the basins for the proposed new building. Staff finds that the project will benefit the City with expanded housing opportunity. The proposal supports the City's housing goals. The storm water management system with infiltration basins will reduce runoff.

PUD zoning allows flexibility from Code requirements. Deviations requested include a building height of 40.25. The Code allows 35 feet. The added height accommodates 9-foot ceilings on each floor. Also, a steeper roof pitch is planned to allow for gables over the decks. In order to allow added building height, the City requires increased setbacks--one foot for each added foot of height above 35 feet. This means that the setback from Cumberland Street would be 35.25 feet; the applicant proposes 30 feet. The setback required from Hodgson Road would be 45.25 feet; the applicant proposes 40 feet. The setbacks proposed comply with the minimum

requirements for a 35-foot height. The proposed three stories will be similar in height to SummerHouse and Applewood Point.

Parking is provided with 1.5 stalls per unit, which is less than the 2.5 stalls required under R3 zoning. The parking proposed is expected to meet resident demand. Underground parking will include 34 stalls. A surface lot will add another 17 parking stalls. The City has allowed flexibility with senior parking in other projects because of the low demand. Parking ratios from other senior sites range from 1 to 1.7 stalls per unit.

Storm water management is within the Ramsey Washington Metro Watershed District, and the project must comply with their guidelines. The City Engineer notes that the infiltration system proposed will reduce the rate of runoff and complies with City requirements.

The site has seven landmark trees that will be removed. Replacement requirements are three replacements for each landmark tree taken down. The landscape plan shows 30 replacement trees.

Property owners within 350 feet were notified of the proposal. Six comments were received. The main concern is the size of the building. Staff is recommending the pubic hearing and that the application be forwarded to the City Council for approval.

Commissioner McCool asked the overall site parking ratio with the two buildings and how the units with 1.0 to 1.7 parking stalls compare with other senior facilities. His concern is the distance residents might need to walk to get to their cars and if a valet service is used, where the cars will be parked. Mr. Warwick stated that the applicant has indicated that approximately 15 spaces are not used with the existing building and can be used if needed with this project. The ratio does compare to SummerHouse, Scandia Shores, Applewood Point and other senior facilities.

Commissioner McCool asked if there has been discussion to move the building further east to comply with setbacks and whether the eaves would encroach. Mr. Warwick explained that to move the building further east does not work well with existing development. The eaves will encroach into the setbacks, which is allowable under Code.

Commissioner Ferrington noted that one concern from residents is that originally the site was planned for a one-story office building. There is concern about glutting the market with senior housing. Mr. Warwick stated that the existing facility is full. The developer sees opportunity for independent living that will be close to further senior services. Increasing housing opportunities for seniors also increases housing opportunities for the community as a whole.

Chair Solomonson stated that one of his biggest concerns is the proximity of the building to the access drive in terms safety and sight lines. He asked how much taller the existing will be to the proposed building.

City Attorney Kevin Beck stated that proper notice has been given for the public hearing.

Chair Solomonson opened the public hearing.

Mr. Link Wilson, Kaas Wilson Architects, stated that this is the sixth building he has worked on for Southview Senior Living. The architecture of the existing building will be duplicated for the new building. There is a slight slope from the existing building to the new site. There is plenty of distance to meet accessibility. The new building is 110 feet from the nearest residence on Hodgson. To push it further east would mean loss of parking spaces. In response to the question about valet parking that is meant for major holidays, parking can be accommodated on neighboring retail sites that will be closed. All lighting will be LED and dark sky compliant. As for the market, the developer has a waiting list that will fill the proposed building the day it can be occupied.

Mr. William Corty, 4716 Cumberland Street, stated that he purchased his home in 2009, when a one-story office building was planned. The existing senior building is more intrusive that he imagined. There are all kinds of delivery trucks, including semi-trucks, that deliver at all times in addition to the employees who arrive both early and late. The visitor parking is inadequate. The overflow cars down the entrance driveway and no more than 50 feet from his deck. Last winter his house was broken into. His home is a tempting target. The Ramsey County Assessor agrees that his property is negatively impacted by the proximity of his home to the entrance to the senior complex. His estimated market value was reduced by \$49,600. The proposed new building will further impact his property value. The size and height of the building is out of place adjacent to residential properties. The purpose of a PUD is for compatibility with surrounding land uses. The original one-story office building with a residential appearance would fit in well and provide a transition from the senior high rise to the south to the residential on the north. An office building would mean no weekend traffic with the possibility if providing overflow parking for surrounding properties. If approved, the development will have significant adverse impacts to the surrounding properties.

Mr. Greg Mikre, 4707 Hodgson Road, asked if there will be room for outdoor areas--seating, walking, patios and outside enjoyment. Seniors want to be outside and many are pushed in wheelchairs.

Mr. Jim Erdman, 4735 Cumberland, stated that Hodgson is becoming extremely concentrated in traffic. To exit from Cumberland is becoming increasingly difficult and consideration needs to be given to that intersection. Eventually there will be more traffic on Tanglewood. At holidays, there is not adequate parking. This building will add to all of these issues. A valet service does not make sense. Traffic and pedestrian safety need to be looked at with this project.

Mr. Steve Bergeson, 4232 Cumberland, stated that he supports the proposal. He asked the developer to consider reducing the height of the building closest to residents on Cumberland. The empty lot has been plowed for parking. Parking needs to be addressed whether through valet service or another solution.

Ms. Becky Wahlund, 4744 Cumberland, agreed with Mr. Bergeson regarding the height of the building. Her concerns are the curve of the road and the parking. The curve blocks sight for

cars entering and exiting Cumberland. There have been many close accidents. There will be an accident with increased traffic.

Mr. Andy Rheineck, 4723 Cumberland, stated that it is reasonable to expect accommodation on the height of this building that was given to North Oaks residents with the existing building. He would like to see substantial size trees planted for visual screening.

MOTION: by Commissioner Ferrington, seconded by Commissioner Schumer to close the public hearing at 10:46 p.m.

VOTE: Ayes - 5 Nays - 0

Chair Solomonson stated that he cannot support the project as presented. He expressed concerns about the proximity of the northeast corner of the building to the roadway. He would like to see the building pushed back further from the 6.5 feet shown. He also is concerned about the height and the setback from Hodgson Road.

Commissioner McCool stated that he likes the proposal but would have preferred to see a Concept Stage for feedback and review. Office use would be an odd fit with what is on this site. The problems and concerns raised by neighbors would be the same with office and perhaps to a greater extent. His concern is with the design. The size and height in proximity to Hodgson and the driveway. It is reasonable to consider stepping the height down on the side adjacent to the neighbors to the north. Also, there will be more parking problems with this new building. Valet parking is interesting but it requires agreements with adjacent properties. He would like to see the application held over to the next meeting in order to see some revisions.

Commissioner Ferrington echoed the comments of Chair Solomonson and Commissioner McCool. She, too, would like to see outdoor areas created for sitting--benches and patios. She would agree with tabling this decision to see some revisions.

Commissioner Schumer stated that he, too, would have preferred to see a Concept Stage. He would like to see the building stepped down in height. He supports the proposal but is not ready to fully support it at this meeting.

Mr. Wilson stated that the developer would like to begin construction this fall. He would prefer the Commission take action to deny so that it can move to the City Council. Between this meeting and the Council meeting, revisions will be made.

Commissioner McCool stated that he favors continuing this application rather than sending a design to the City Council with no feedback from the Planning Commission.

MOTION: by Commissioner Doan, seconded by Commissioner Ferrington to table action on this application to the next Planning Commission meeting.

Discussion:

Mr. Warwick suggested the motion include an extended review period from 60 to 120 days.

Commissioner Doan amended the motion to extend the review period to 120 days. Commissioner Ferrington accepted the amendment.

VOTE: Ayes - 5 Nays - 0

Chair Solomonson called a break for the tape to be changed and then reconvened the meeting.

PUBLIC HEARING- COMPREHENSIVE PLAN AMENDMENT, REZONING, SITE & BUILDING PLAN REVIEW*

FILE NO: 2582-15-25

APPLICANT: OAK HILL MONTESSORI LOCATION: 4693 HODGSON ROAD

Presentation by City Planner Kathleen Castle

The applicant is requesting a Comprehensive Plan Amendment to change the land use designation from RL, Low Density Residential to INST, Institutional. The request is also to rezone the property from R1, Detached Residential to O, Office. The three properties owned by Oak Hill Montessori School are: 4665, the site of the school; 4685, a single-family home that has been rented--the yard is used for field games, gardening and special events; and 4693, a single-family home that Oak Hill seeks to convert into office space. The reason for the Comprehensive Plan Amendment is for the land use to be consistent for the three properties, as well as the land use designation. The property is located in Policy Development Area (PDA) No. 9, which identifies the land use in this area as low or medium density residential.

Two phases of development are planned. What is being considered with this application is Phase 1 to convert the home at 4693 to office space for six school administrative staff. Minor changes would be made to the interior. An accessible ramp will be added to the exterior of the house. Office hours would be 8:00 a.m. to 4:30 p.m. The second phase will be an expansion of parking.

Staff finds that the request is consistent with the Comprehensive Plan and PDA #9. Rezoning to Office (O) will not significantly adversely impact planned uses of surrounding properties. Conversion of 4693 to office will not conflict with the planned use of adjoining property. School expansion to the north is appropriate because of the characteristics of Hodgson Road and changing land use areas. The applicant has agreed to enter into a Rezoning/Development Agreement with the City.

Property owners within 350 feet were notified of the proposal, and the public hearing noticed was published in the City's legal newspaper. Comments received expressed concerns of noise, traffic and impact to property values. The Lake Johanna Fire Marshal provided comments related to occupancy. Ramsey County had not comments but indicated the access off Hodgson Road should be addressed in the future.

Staff recommends the public hearing and forwarding the application to the City Council for approval.

Commissioner McCool asked if the conversion to 4693 is a long-term solution for office space.

City Attorney Kevin Beck stated that he has reviewed the affidavits of publication and the public hearing is in order.

Chair Solomonson opened the public hearing.

Mr. Peter Hilger, Ryler LLC, Architect, stated that key to expansion strategy is the acquisition of residential property as it becomes available. The school has now purchased the property needed for projected expansion. The reason for the Comprehensive Plan Amendment and rezoning is to have the same land use designations for all the properties owned by the school. At present, the most efficient expansion is to convert 4693 to Office. There is a major trunk sewer that runs through the property. Oak Hill is requesting a continuing discussion for the 4693 property to be used as Office, if the school staff is brought back to the main building.

Mr. Clint Spieler, stated that he owns the property at 4701 Hodgson Road. His concern is having an Institutional neighbor. The access to the school is on his property line. He would like consideration for privacy of his property. His other concern is elevated noise.

Mr. Greg Mikre, 4707 Hodgson Road, stated that his property abuts the 4693 property. His concerns are noise abatement, visual abatement, security issues and the parking lot size. Noise will only increase in years to come. It is a particular issue for him because he works the evening shift and sleeps during part of the day. He suggested offering to soundproof neighbors' homes. Visual abatement should include a fence with appropriate landscaped design. As enrollment increases, he is concerned about security.

Ms. Kathy Anderson, Head of Montessori School, stated that the school enrollment is just under 200. Current growth is at the toddler level. There is no increase in children on the playground. There are staggered lunch hours from 11:30 to 12:30, when children are outside. Then from 3:30 p.m. to 5:00 p.m. there are outdoor activities. Only one of the six staff to be located at 4693 is a full-time employee. Traffic issues are not anticipated. The entrance and exit on Hodgson will be changed when parking is expanded.

MOTION: by Commissioner Schumer, seconded by Commissioner Ferrington to close the public hearing at 11:32 p.m.

VOTE: Ayes - 5 Nays - 0

Chair Solomonson clarified that if rezoned to Office, the house at 4693 could not be rented out as a residence. Ms. Castle answered that is correct. She further stated that there would be concern about renting to another Office use and the intensity of that use. This can be worked out through the Rezoning Agreement.

Commissioner McCool noted one condition in the motion is office use exclusively for the school. He would like to retain that condition.

MOTION:	by Commissioner Schumer, seconded by	by Commissioner McCool
VOTE:	Ayes - 5	Nays - 0
Discussion:		
_	sked if each should be separate motions. e in one motion.	City Attorney Kevin Beck stated that the
	r Doan clarified that the three properties zoned O, Office.	will be designated INST, Institutional for
VOTE:	Ayes - 5	Nays - 0
MISCELLAN	NEOUS	
	r Ferrington and Chair Solomonson will August 3^{rd} , 2015 and August 17^{th} , 2015.	respectively attend the City Council
A Planning Co	ommission Workshop is planned for Aug	gust 25, 2015, at 6:00 p.m.
ADJOURNM	IENT	
MOTION: the me	by Commissioner Schumer, seconded beeting at 11:45 p.m.	by Commissioner McCool to adjourn
VOTE:	Ayes - 5 N	Tays - 0
ATTEST:		
Kathleen Cast City Planner	le	

MOTION SHEET

MOVED BY COUNCILMEMBER	
SECONDED BY COUNCILMEMBER	

To approve the following payment of bills as presented by the finance department.

Date	Description	on	H. in a manufacture		erentalije og priling greger to en en e					
08/17/15	Accounts	payable						\$60,853.72		
08/20/15	Accounts	Accounts payable \$378,413.								
08/25/15	Accounts	Accounts payable								
09/01/15	Accounts	payable						\$390,267.53		
09/03/15	Accounts	\$166,362.11								
09/08/15	Accounts	payable						\$439,139.47		
	Sul	b-total Accou	ınts Payab	ole						
08/21/15	Payroll	128359 to	128418	973769	to	974009	\$	191,287.85		
09/04/15	Payroll	128419 to	128468	974010	to	974226		\$174,314.94		
		Sub-total l	Payroll							
		TOTA	L			:	\$	1,832,633.29		

ROLL CALL:	AYES	NAYS
Johnson		
Quigley		
Wickstrom		
Springhorn		
Martin		

09/08/15

Vendor Name	Description	FF	GG	00	AA	СС	Line Amount	Invoice Amt
ABBOTT PAINT & CARPET	REPAIR SUPPLIES CC	220	43800	2240		001	\$62.60	\$62.60
AICPA.ORG	AICPA ANNUAL DUES: ESPE		40500			001	\$245.00	\$245.00
AMAZON.COM	HEADSET BATTERY		44100				\$28.02	\$28.02
AMAZON. COM	HEADSET BATTERY		40500			800	\$23.08	\$23.08
AMERICAN PAYROLL ASSOCIATION	APA ANNUAL MEMBERSHIP: KUSCHEL		40500			002	\$219.00	\$219.00
AMERICAN PLANNING ASSOCATION	AICP EXAM REGISTRATION/PREP: HILL, N.		44100				\$674.00	\$674.00
AMERICAN RED CROSS-HEALTH & SA	CPR/AED: AUSTIN/HINTGEN/JOLY/LUKOSKIE		43520			001	\$108.00	\$108.00
AMERICAN RED CROSS-HEALTH & SA	CPR/AED: RICK OKADA		43520			001	\$19.00	\$19.00
BEISSWENGERS HARDWARE	REPAIR SUPPLIES CC	220	43800	2240		003	\$88.76	\$88.76
c & e hardware	GLUE FOR MANHOLES	602	45550	2280		003	\$6.49	\$6.49
CITY OF BROOKLYN CENTER	NELSON/ATTN MALLORY HOLMEN	101	44300	4500			\$220.00	\$220.00
COMCAST.COM	COMPLEX STAFF INTERNET SERVICES	230	40900	3190		002	\$137.85	\$137.85
COMCAST.COM	MODEM 2 INTERNET CHARGE	230	40900	3190		002	\$137.85	\$137.85
COMCAST.COM	COMPLEX STAFF INTERNET SERVICES	230	40900	3190		002	\$137.85	\$137.85
CULLIGAN	IRON FILTER SERVICE FEES	220	43800	3190		007	\$88.00	\$88.00
DAVANNI'S	ADVENTURE QUEST STAFF MEETING SUPPLY	225	43590	2175		002	\$64.68	\$64.68
DICK BLICK.COM	SUMMER DISCOVERY SUPPLIES	225	43535	2170		003	\$24.36	\$24.36
E.G. RUD & SONS, INC.	SURVEY STORM POND CLEANING CP15-11	603	45850	3190			\$1,463.00	\$1,463.00
GAS PLUS INC.	PREMIUM FUEL	701	46500	2120		001	\$144.95	\$144.95
GENESIS EMPLOYEE BENEFITS INC	FLEX - MED/DEPENDENT CARE 08-14-15	101	20431				\$1,468.21	
		101	20432				\$55.00	\$1,523.21
GENESIS EMPLOYEE BENEFITS INC	FLEX - MED/DEPENDENT CARE 07-17-15	101	20431				\$638.35	
	•	101	20432				\$55.00	\$693.35
GENESIS EMPLOYEE BENEFITS INC	ADMINISTRATION FEE: JULY 2015	101	20416				\$360.80	
HOME DEPOT CREDIT SERVICES	WATER PROOF ELECTRICAL COVERS	701	46500	2183		001	\$36.74	\$36.74
ICMA.COM	MEMBERSHIP/ANNUAL CONFERENCE: OLSON	101	40200	4330		002	\$75.00	\$535.00
		101	40200	4500		001	\$460.00	
IN CORD AND BAYNETS SAFETY.COM	CARGO NET	220	43800	2200		004	\$2,736.12	
KELLY & LEMMONS, P.A.	JULY 2015 LEGAL FEES	101	40600	3020			\$3,719.68	\$7,422.05
		101	40600	3030			\$3,702.37	
LEEANN CHIN.COM	EDA MEETING SUPPLIES	240	44400	2180			\$131.75	\$131.75
LEISER, DAVID W.	MOUNDS VIEW MUSTANG BASKETBALL CAMPS	225	43510	3190		012	\$8,081.60	
M-R SIGN COMPANY INC.	CHIP SEAL MARKERS SEAL COAT PROJ 15-05	404	42200	3190			\$633.30	\$633.30
MATHESON TRI-GAS INC	CO2 ORDER	220	43800	2160		002	\$101.05	\$101.05
MENARDS CASHWAY LUMBER **FRIDL	LADDERS	601	45050	2280		001	\$100.00	\$194.49
		602	45550	2280		001	\$94.49	
METROPOLITAN COUNCIL ENVIRONME	SAC CHARGES FOR JULY 2015	602	20840				\$7,380.45	\$7,380.45
MIDWEST WORKWEAR.COM	UNIFORM JEANS	101	42200	3190			\$40.49	\$121.47
		601	45050	3190			\$40.49	
		602	45550	3190			\$40.49	
MIDWEST WORKWEAR.COM	UNIFORM JEANS	603	45850	3190			\$20.24	
		701	46500	3190			\$20.23	
MINNEAPOLIS PARKING.COM	SUMMER DISCOVERY BUS PARKING MN LYNXGAME	225	43535	3190		003	\$100.00	
MINNESOTA ASSOCIATION OF	SUMMER VIDEO WORKSHOP: ANDERSON, C	101	40400	4500		002	\$10.00	\$10.00
MINNESOTA GFOA.COM	GFOA ANNUAL CONFERENCE: BARTELT	101	40500	4500		005	\$285.00	\$285.00
MINNESOTA GFOA.COM	GFOA ANNUAL CONFERENCE: PHILIP	101	40500	4500		005	\$285.00	\$285.00
MINNESOTA GFOA.COM	GFOA ANNUAL CONFERENCE: MALONEY	101	40500	4500	+	005	\$225.00	\$225.00
MINNESOTA GFOA.COM	GFOA ANNUAL CONFERENCE: ESPE	101	40500	4500)	005	\$225.00	\$225.00
MOUNDS VIEW PUBLIC SCHOOLS	FACILITY RENTAL: SUMMER FIELDS & LEISER	225	43510	3190)	015	\$2,700.68	
NATIONAL STUDENT CLEARING HOUS	DEGREE VERIFICATION		40210			006	\$9.95	\$9.95
NORTHSTAR INSPECTION SERVICE I	INSPECTION SERVICES	101	44300	3190)		\$1,040.00	\$1,040.00

COUNCIL REPORT

Vendor Name	Description	FF	GG	00	AA	СС	Line Amount	Invoice Amt
ORKIN EXTERMINATING CO INC.	PEST CONTROL CC	220	43800	3190		004	\$169.39	\$169.39
ORKIN EXTERMINATING CO INC.	PEST CONTROL LARSON HOUSE	101	40800	3190			\$1.21	\$1.21
PANINO'S	EDA MEETING SUPPLIES	240	44400	2180		001	\$115.07	\$115.07
PAY PAL.COM	4 DRIVES FOR LEFTHAND STORAGE NODE	101	40550	2180			\$276.00	\$276.00
PAY PAL.COM	TOUCH PANEL CONTROLLER FOR COMM CENTER	101	40550	2180		001	\$245.00	\$245.00
PICKLEBALLPADDLESPLUS.COM	SAPC PICKLE BALLS ONIX ORDER	225	43510	2170		020	\$284.05	\$284.05
PMA FINANCIAL NETWORK, INC	JUNE 2015 BANK FEES	101	40500	4890		004	\$138.70	\$138.70
SCHMITT MUSIC	SUMMER DISCOVERY SUPPLY-RETURN 2 BOOKS	225	43535	2170		001	-\$13.91	-\$13.91
SCHMITT MUSIC	SUMMER DISCOVERY SUPPLIES	225	43535	2170		001	\$16.45	\$16.45
SEA LIFE MINNESOTA AQUARIUM	SEALIFE TRIP	225	43590	3175		002	\$344.00	\$344.00
SEA LIFE MINNESOTA AQUARIUM	SEA LIFE TRIP/ADDITIONAL TICKETS	225	43590	3175		002	\$68.00	\$68.00
SIMPLEXGRINNELL LP	REPAIRS TO FIRE SPRINKLER CC	220	43800	3810		003	\$516.00	
TARGET STORE	ADVENTURE QUEST SUPPLIES	225	43590	2175		003	\$22.76	\$22.76
TARGET STORE	SUMMER DISCOVERY SUPPLIES	225	43535	2170		002	\$142.21	\$142.21
TARGET STORE	MEETING/PICNIC SUPPLIES	101	40210	4890		002	\$62.00	\$75.48
		101	40200	4890			\$13.48	
TARGET STORE	SNORKEL SUPPLIES	225	43520	2170		002	\$63.97	
TARGET STORE	ADVENTURE QUEST SUPPLIES	225	43590	2175		002	\$14.77	\$14.77
TARGET STORE	SENIOR SUPPLIES	225	43590	2174		001	\$62.66	\$62.66
TARGET STORE	SUMMER DISCOVERY SUPPLIES	225	43535	2170		003	\$160.49	\$160.49
TARGET.COM	SNORKEL SUPPLIES	225	43520	2170		002	\$119.94	\$119.94
TIVOLITOO, INC	DOWN PAYMENT ON LINUS REPAIRS	220	43800	3810		003	\$805.00	\$805.00
TIVOLITOO, INC	DOWN PAYMENT ON MURAL REPAIRS IN CC	220	43800	3810		003	\$1,820.00	
UNIVERSITY OF MINNESOTA	MN WATER RESOURCES CONFERENCE	101	42050	4500			\$245.00	\$245.00
VALLEYFAIR	VALLEYFAIR TRIP	225	43590	3175		002	\$1,339.00	\$1,339.00
VICTORY CORPS	FLAGS FOR CC	220	43800	2240		001	\$795.12	\$795.12
WALMART	PUPPET WAGON SUPPLIES	225	43590	2175		001	\$62.09	\$62.09
XCEL ENERGY	SIRENS: ELECTRIC	101	41500	3610			\$59.52	\$59.52
XCEL ENERGY	STREET LIGHTS: ELECTRIC	604	42600	3610			\$13,813.03	\$13,813.03
YALE MECHANICAL INC	RPZ TESTING POOL	220	43800	3810		007	\$327.75	\$327.75

Total of all invoices: \$60,853.72

\$60,853.72

Vendor Name	Description	FF	GG	00	AA	cc	Line Amount	Invoice Amt
ANDERSON - CARLQUIST, KARI	FACILITY REFUND	220	22040				\$25.00	\$25.00
BEISSWENGERS HARDWARE	REPAIR SUPPLIES CC	220	43800	2240		001	\$20.44	\$20.44
BEISSWENGERS HARDWARE	REPAIR SUPPLIES CC		43800			001	\$4.89	\$4.89
BEISSWENGERS HARDWARE	VELCRO	701	46500	2220		003	\$7.19	\$7.19
BENDER, GAYLOR	SPRINKLER HEAD REPAIR	603	45850	3190		001	\$65.00	\$65.00
BJORK, SUZANNE	ACTIVITY REFUND	220	22040				\$5.00	\$5.00
BOYER TRUCK PARTS INC.	TURN SIGNALS UNITS 306 & 215	701	46500	2220		001	\$48.50	\$48.50
BOYER TRUCK PARTS INC.	PANEL-DASH UNIT 306	701	46500	2220		001	\$100.77	\$100.77
BRAKE & EQUIPMENT WAREHOUSE	TIE ROD ENDS UNIT 604	701	46500	2220		001	\$95.30	\$95.30
BRAUN INTERTEC CORPORATION	WTP CONSTRUCTION TESTING CP 14-02	454	47000	5910			\$3,766.19	\$3,766.19
C & E HARDWARE	REPLACEMENT PLUG FOR CORD	601	45050	2280		001	\$4.49	\$4.49
C & E HARDWARE	DOUBLE SIDED TAPE	701	46500	2183		001	\$4.49	\$4.49
C & E HARDWARE	DOUBLE SIDED TAPE	701	46500	2183		001	\$4.49	\$4.49
C W HOULE INC.	LEX / CO RD F WM CP15-06 PAYMENT NO3	455	47000	5900			\$83,973.09	\$83,973.09
COMMERCIAL ASPHALT CO	PATCHING ASPHALT	101	42200	2180		002	\$162.57	\$162.57
COMMISSIONER OF REVENUE- WH TA	WITHHOLDING TAX - PAYDATE 08-21-15	101	21720				\$10,659.31	\$10,659.31
COMMUNITY HEALTH CHARITIES - M	EMPLOYEE CONTRIBUTIONS: 08-21-15	101	20420				\$137.00	\$137.00
COMMUNITY REINVESTMENT FUND	GMHC ADMIN FEES/JULY STMT/15@\$6/3@\$15	307	44100	4890			\$135.00	\$135.00
DEBORAH A. SORENSON, D.C.	PERSONALYSIS CONSULTATION - NEVA WIDNER	101	42050	4500			\$200.00	\$200.00
DIAMOND VOGEL PAINT	CROSSWALK PAINT	101	42200	2180		004	\$324.00	\$324.00
DOCKENDORF, TRACI	FACILITY REFUND	220	22040				\$25.00	\$25.00
EFH CO	EROSION RED 1045 TOMLYN RES 15-73	101	22030				\$500.00	\$500.00
EGGUM, ANDREW	FACILITY REFUND	220	22040				\$550.00	\$550.00
EMERGENCY RESPONSE SOLUTIONS I	VALVE FOR UNIT 303	701	46500	2220		001	\$210.43	\$210.43
FAGERBERG, SANDRA	FACILITY REFUND	220	22040				\$50.00	\$50.00
FIRST STUDENT, INC	JULY 22 & JULY 24 FIELD TRIP BUS COST	225	43590	3175		002	\$413.70	
		225	43535	3190		003	\$909.28	
FIRST STUDENT, INC	JULY 29 & JULY 31 FIELD TRIP BUS COST	225	43590	3175		002	\$288.75	
		225	43535	3190		003	\$1,276.80	\$1,565.55
FIRST STUDENT, INC	BUS SHUTTLES FOR SLICE PARADE	270	40250	3190		005	\$330.00	\$330.00
FOUNDATIONS, NEW	FACILITY REFUND	220	22040				\$75.20	\$75.20
GENESIS EMPLOYEE BENEFITS INC	VEBA CONTRIBUTIONS: 08-21-15	101	20418				\$5,820.00	\$5,820.00
GENESIS EMPLOYEE BENEFITS INC	FLEX REIMBURSEMENTS:08-21-15	101	20431				\$654.80	\$654.80
GOPHER	FOOTBALL ORDER (GRIP ZONE SIZE 2)	225	43510	2170		018	\$559.73	
GRANLUND, ROXANNE	RUNNING ACES	220	22040				\$17.00	\$17.00
HAQUE, KAISER	AQUATICS - LEVEL 3	220	22040				\$38.00	\$38.00
HARDRIVES INC	STREET RED 5714 ROYAL OAKS DR RES 15-73	101	22020				\$2,000.00	\$2,000.00
HEALTH PARTNERS	HEALTH INSURANCE: SEPT 2015	101	20410				\$59,334.46	\$59,334.46
HERMES, HEATHER	SOCCER LEA (GRD 1&2)	220	22040				\$47.00	\$47.00
HORWATH, SARA	FACILITY REFUND	220	22040				\$25.00	\$25.00
HOTSY EQUIPMENT CO	VEHICLE WASH MAINT.	701	46500	3196		001	\$585.85	\$585.85
HUGO EQUIPMENT COMPANY	Z-MOWER #2 ROCKER CASE	701	46500	2220		002	\$10.62	\$10.62
HUGO EQUIPMENT COMPANY	MOWER DECK PARTS	701	46500	2220		002	\$606.61	\$606.61
HUSNIK, SHIRLEY	ACTIVITY REFUND	220	22040				\$5.00	\$5.00
ICMA/VANTAGEPOINT TRANSFER-300	EMPLOYEE CONTRIBUTIONS PAYDATE:08-21-15	101	21750				\$5,698.90	\$5,698.90
ICMA/VANTAGEPOINT TRANSFER-705	ROTH CONTRIBUTIONS: 08-21-15	101	20430				\$980.00	\$980.00
IVANCIE, SUSAN	ACTIVITY REFUND		22040				\$83.00	\$83.00
JENDI PROPPERTIES LLC	EROSION RED 3521 RICE ST RES 15-73		22030				\$1,000.00	\$1,000.00
JIANG, YUHONG	PASS REFUND		22040				\$771.00	\$771.00
JONES & BARTLETT PUBLISHERS, I	10 LIFEGUARD BOOKS		43800			002	\$339.96	\$339.96
KENNY, MEGAN	FACILITY REFUND	220	22040				\$25.00	\$25.00

Vendor Name	Description	FF	GG	00	AA	СС	Line Amount	Invoice Amt
KHAN, FATIMA	FACILITY REFUND	220	22040				\$500.00	\$500.00
KOPACZ, KRISTI	SF 1 & 2	220	22040				\$276.00	\$276.00
KULZER, CHRISTINA	AQUATICS - LEVEL 3	220	22040				\$152.00	\$152.00
LARSON COMPANIES	EQUIPMENT FUEL FILTERS	701	46500	2220		002	\$14.12	\$14.12
LARSON COMPANIES	EQUIPMENT FILTERS	701	46500	2220		002	\$106.38	\$106.38
MANKE, KURT	AQUATICS - PRIVATE	220	22040				\$221.00	\$221.00
MECA	MECA MEMBERSHIP AND WORKSHOP	101	42050	4500			\$100.00	\$100.00
MENARDS CASHWAY LUMBER **FRIDL	TIDE DETERGENT	701	46500	2183		001	\$17.96	\$17.96
MILLER, MARGRET	ACTIVITY REFUND	220	22040				\$5.00	\$5.00
MINNCOR INDUSTRIES	OFFICE CHAIR/SCHUTTA	220	43800	2180			\$409.00	\$409.00
MINNESOTA CHILD SUPPORT PAYMEN	PAYDATE: 08-21-15	101	20435				\$141.50	\$141.50
MINNESOTA ENVIRONMENTAL FUND	MN ENVIRONMENTAL EMPL CONTRIB: 08-21-15	101	20420				\$35.00	\$35.00
MINNESOTA EQUIPMENT	LANDPRIDE MOWER PARTS	701	46500	2220		002	\$266.30	\$266.30
MINNESOTA METRO NORTH TOURISM	JULY 2015 HOTEL/MOTEL TAX	101	22079				\$28,087.81	\$26,683.42
		101	38420				-\$1,404.39	
MOSER HOMES	EROSION RED 3339 VICTORIA ST RES 15-73	101	22030				\$1,000.00	
MROZINSKI, KRISTA	FACILITY REFUND	220	22040				\$25.00	\$25.00
MTI DISTRIBUTING, INC	MOWER PULL ARMS	701	46500	2220		002	\$236.00	\$236.00
NEOFUNDS BY NEOPOST	POSTAGE/INVOICE 11208152	101	40200	3220			\$3,000.00	\$3,000.00
PIONEER RIM & WHEEL CO.	BEARINGS FOR DUMP TRAILER	701	46500	2220		002	\$32.14	\$32.14
PRECISION LANDSCAPE & TREE, IN	WO 15-09 CARLTON DECLINING ASH	101	43900	3190		002	\$3,179.00	\$3,179.00
PRECISION LANDSCAPE & TREE, IN	WO 15-10 STUMP GRINDING BLVD	101	43900	3190		002	\$855.00	\$855.00
PRECISION LANDSCAPE & TREE, IN	WO 15-12 LIGHTNING BLVD TREE	101	43900	3190		002	\$296.00	\$296.00
PRECISION LANDSCAPE & TREE, IN	WO 15-11 DED PRIVATE REM. 4230 VICTORIA	101	43900	3190		003	\$218.00	\$218.00
PUBLIC EMPLOYEES RETIREMENT AS	EMPL/EMPLOYER CONTRIBUTIONS: 08-21-15	101	21740				\$29,919.15	\$29,919.15
PUBLIC EMPLOYEES RETIREMENT AS	PERA DEFINED CONTRIBUTION: 08-21-15	101	21740				\$246.10	\$246.10
RAMSTORF, HEATHER	FACILITY REFUND	220	22040				\$25.00	\$25.00
RICE-PARDO, DEIDRE	FACILITY REFUND	220	22040				\$25.00	\$25.00
RICOH USA, INC.	LEASE: MPC3003 C84066191 8/23/15-9/22/15	101	40200	3930		002	\$273.62	\$273.62
RISER, TYRONDA	FACILITY REFUND	220	22040				\$50.00	\$50.00
RUM RIVER CONTRACTING INC	2014 TRAIL REHAB CP14-05 PYMNT NO5 FINAL	445	47000	5900			\$10,813.31	\$10,813.31
SAM'S CLUB DIRECT	FM/SENIOR SUPPLIES	225	43590	2174		001	\$18.95	\$58.95
		225	43590	2174		002	\$40.00	
SELVOG, MARLENE	ACTIVITY REFUND	220	22040				\$5.00	\$5.00
SHORT ELLIOTT HENDRICKSON, INC	SHOREVIEW ANTENNA PROJECTS	601	22015				\$2,094.81	\$2,094.81
SUMMIT DESIGN BUILD	UTILITY ESCROW 745 ARBOGAST RES 15-73	101	22020				\$1,500.00	\$1,500.00
SUNDBERG, MINDY	FACILITY REFUND	220	22040				\$25.00	\$25.00
SUPPLYWORKS	PAPER TOWELS/FLOOR FINISH/TISSUE	220	43800	2110			\$1,747.73	
SUPPLYWORKS	PAPER TOWELS/SANITIZER	220	43800	2110			\$1,413.71	\$1,413.71
SUPPLYWORKS	SOAP/BATH TISSUE/CAN LINER	220	43800	2110			\$781.19	\$781.19
SUPPLYWORKS	SOAP/BATH TISSUE/CAN LINER	220	43800	2110			\$507.30	\$507.30
SUPPLYWORKS	TRIGGER SPRAYER/BOTTLES	220	43800	2110			\$29.76	\$29.76
TDS METROCOM	TELEPHONE SERVICES	101	40200	3210		003	\$1,074.68	\$1,355.16
		101	43710	3210			\$246.17	
		601	45050	3210			\$34.31	
THUNBORG, ALEXANDRA	FACILITY REFUND	220	22040				\$500.00	\$500.00
TREASURY, DEPARTMENT OF	FEDERAL WITHHOLDING TAX: 08-21-15	101	21710				\$26,006.44	\$67,667.24
		101	21730				\$33,764.40	
		101	21735				\$7,896.40	
TYCO INTEGRATED SECURITY LLC	SECURITY SYSTEM MONITORING-PANIC ALARM	101	40210	3190		800	\$94.00	
UNITED WAY - GREATER TWIN CITI	EMPLOYEE CONTRIBUTIONS: 08-21-15	101	20420				\$78.00	\$78.00

COUNCIL REPORT

Vendor Name	Description	FF	GG	00	AA	СС	Line Amount	Invoice Amt
WANG, LI	SOCCER LEA (GRD 3&4)	220	22040				\$47.00	\$47.00
WARNING LITES OF MINNESOTA INC	TRAFFIC CONES	101	42200	2180		001	\$168.75	\$168.75
WATSON COMPANY	WAVE CAFE FOOD FOR RESALE	220	43800	2590		001	\$2,648.60	\$2,648.60
WEISKOPF, JEROME	RUNNING ACES	220	22040				\$5.00	\$5.00
WIMACTEL INC.	PAYPHONE TELEPHONE	101	40200	3210		001	\$60.00	\$60.00
WONDERFUL HOME BUILDERS LLC	EROS & GRADE RED 4133 REILAND RES 15-73	101	22030				\$2,000.00	\$3,000.00
		101	22025				\$1,000.00	
WONDERFUL HOME BUILDERS LLC	EROS, GRADE, STREET 3434 OWASSO RES 15-73	101	22030				\$1,000.00	
		101	22025				\$1,000.00	\$4,500.00
		101	22020				\$2,500.00	
WOODS, ELSIE	FACILITY REFUND	220	22040				\$99.98	\$99.98
XCEL ENERGY	TRAFFIC SIGNAL SHARED W/ARDEN HILLS:ELEC	101	42200	3610			\$48.86	
XCEL ENERGY	SLICE OF SHOREVIEW: ELECTRIC	270	40250	3610			\$136.59	\$136.59
XCEL ENERGY	STORM SEWER LIFT STATIONS: ELECTRIC	603	45850	4890		003	\$186.28	\$186.28
XCEL ENERGY	COMMUNITY CENTER: ELECTRIC/GAS	220	43800	2140			\$2,701.91	\$26,048.02
		220	43800	3610			\$23,346.11	
XCEL ENERGY	SURFACE WATER: ELECTRIC	603	45900	3610			\$97.94	
XCEL ENERGY	WATER TOWERS: ELECTRIC	601	45050	3610			\$57.01	\$57.01
XCEL ENERGY	TRAFFIC SIGNALS: ELECTRIC	101	42200	3610			\$603.34	\$603.34
YALE MECHANICAL INC	ROOF REPAIR	220	43800	3810		003	\$414.25	\$414.25
YALE MECHANICAL INC	POOL AREA BOILER REPAIR	220	43800	3810		007	\$314.47	\$314.47
YOUNG, VANESSA	FACILITY REFUND	220	22040				\$25.00	\$25.00
	•			T.	o+	o# -	all invoices:	¢379 /13 75

Total of all invoices: \$378,413.75

Vendor Name	Description	FF	GG	00	AA	СС	Line Amount	Invoice Amt
A & L SUPERIOR SOD, INC	SOD FOR WATERMAIN REPAIR	601	45050	2280		004	\$24.20	\$24.20
ARCHETYPE SIGNMAKERS	EMPLOYEE NAMEPLATES		43800			001	\$127.66	\$127.66
BAUER BUILT TIRE AND BATTERY I			46500			002	\$112.80	\$112.80
BEISSWENGERS HARDWARE	REPAIR SUPPLIES CC		43800			001	\$13.95	\$13.95
C & E HARDWARE	SIGN SHOP SUPPLIES		42200			003	\$28.95	\$28.95
CENTRAL HYDRAULICS INC	MISC. HYD PARTS		46500			002	\$235.03	\$235.03
CKC GOOD FOOD	SUMMER DISCOVERY LUNCH		43535				\$1,393.18	\$1,393.18
	WAVE CAFE BEVERAGE FOR RESALE		43800			001	\$955.21	\$955.21
CONTINENTAL RESEARCH CORPORATI	SHOP SUPPLIES		46500			003	\$262.88	\$262.88
CRYSTAL CAVE, INC.	SUMMER DISCOVERY FIELD TRIP	225	43535	3190		001	\$2,163.54	\$2,163.54
CUB FOODS	BIRTHDAY CAKE	220	43800	2591		001	\$20.45	\$20.45
FIRST STUDENT, INC	AUGUST 5 FIELD TRIP BUS COST	225	43535	3190		003	\$1,050.00	\$1,050.00
GRANDMA'S BAKERY	BIRTHDAY CAKES FOR RESALE		43800			001	\$23.75	\$23.75
GRANDMA'S BAKERY	BIRTHDAY CAKES FOR RESALE		43800			001	\$23.75	\$23.75
GRANDMA'S BAKERY	BIRTHDAY CAKES FOR RESALE		43800			001	\$23.75	\$23.75
GRANDMA'S BAKERY	BIRTHDAY CAKES FOR RESALE	220	43800	2591		001	\$19.99	\$19.99
GRANDMA'S BAKERY	BAKERY FOR RESALE - WAVE CAFE		43800			001	\$17.86	\$17.86
GRANDMA'S BAKERY	BAKERY FOR RESALE - WAVE CAFE		43800			001	\$17.86	\$17.86
GRANDMA'S BAKERY	BAKERY FOR RESALE - WAVE CAFE		43800			001	\$17.86	\$17.86
GRANDMA'S BAKERY	BAKERY FOR RESALE - WAVE CAFE		43800			001	\$17.86	\$17.86
GRANDMA'S BAKERY	BAKERY FOR RESALE - WAVE CAFE		43800			001	\$16.94	\$16.94
GRANDMA'S BAKERY	BAKERY FOR RESALE - WAVE CAFE		43800			001	\$16.94	\$16.94
GRANDMA'S BAKERY	BAKERY FOR RESALE - WAVE CAFE		43800			001	\$16.94	\$16.94
GRANDMA'S BAKERY	BAKERY FOR RESALE - WAVE CAFE		43800			001	\$16.94	\$16.94
GRANDMA'S BAKERY	BAKERY FOR RESALE - WAVE CAFE		43800			001	\$16.94	\$16.94
GRANDMA'S BAKERY	BAKERY FOR RESALE - WAVE CAFE		43800			001	\$16.94	\$16.94
GRANDMA'S BAKERY	BAKERY FOR RESALE - WAVE CAFE		43800			001	\$16.94	\$16.94
GRANDMA'S BAKERY	BAKERY FOR RESALE - WAVE CAFE		43800			001	\$16.94	\$16.94
HAWKINS, INC.	GAS & LIQUID CL/ACID CAUSTIC		43800			001	\$1,427.43	\$1,427.43
HEGGIE'S PIZZA LLC	WAVE CAFE FOOD FOR RESALE		43800			001	\$511.40	\$511.40
HEGGIE'S PIZZA LLC	WAVE CAFE FOOD FOR RESALE		43800			001	\$301.60	\$301.60
HOFMEISTER, DONALD	SOFTBALL UMPIRE AUGUST 11,13,20		43510			001	\$144.00	4501.00
JEWELL, TED W.	SOFTBALL UMPIRE AUGUST 11		43510			001	\$48.00	\$48.00
JONES & BARTLETT PUBLISHERS, I			43800			002	\$131.80	\$131.80
MALIKOWSKI, RODNEY P.	SOFTBALL UMPIRE AUGUST 11		43510			001	\$48.00	\$48.00
MCCAREN DESIGNS INC	MONTHLY HORTICULTURE SERVICES		43800			007	\$1,196.00	\$1,196.00
MINNESOTA DEPT OF HUMAN SERVIC	JULY CC CLEANING		43800			002	\$90.00	\$90.00
MINNESOTA EQUIPMENT	HARPER SWEEPER PUMP		46500			002	\$1,321.25	\$1,321.25
MINNESOTA EQUIPMENT	LANDPRIDE MOWER BLADES		46500			002	\$113.68	\$113.68
MINNESOTA EQUIPMENT	HARPER SWEEPER BROOM ASSY		46500			002	\$1,629.50	\$1,629.50
PLUG'N PAY TECHNOLOGIES INC.	JULY/ECOMM/CC FEES		43800		002		\$3.46	\$42.45
-	332.7,233733		43400				\$38.99	7,21,15
PLUG'N PAY TECHNOLOGIES INC.	JULY RETAIL/CC FEES		43800		002		\$124.53	
	, , , , , , , , , , , , , , , , , , ,		43400				\$199.40	\$323.93
PORTER, DANIEL	SOFTBALL UMPIRE AUGUST 13 & 20		43510			001	\$96.00	4020170
POWELL, SHARON	GENEALOGY OPEN FORUM CLASS 8/19		43590			003	\$36.00	\$36.00
ROSEVILLE PARK AND RECREATION	WPOA & CASCADE BAY - REIMBURSEMENT		43590			002	\$466.50	\$466.50
ROUFS, JESSICA	ACTIVITY REFUND		22040				\$105.80	\$105.80
RUNNING ACES HARNESS PARK	SENIOR TRIP-RUNNING ACES 8/26/2015		43590	3174		004	\$630.00	\$630.00
SAM'S CLUB DIRECT	SD SNACK/MOVIE SUPPLIES		43535			004	\$387.24	\$476.40
	.,		43590			001	\$89.16	
							40,110	

=========

Vendor Name	Description	FF	GG	00	AA	СС	Line Amount	Invoice Amt
SANGER, JOHN	REIMBURSEMENT FOR BLVD TREE REMOVAL	 101	43900	 3190		002	\$3,000.00	
		101	43900	3190		002	\$321.38	\$3,321.38
SCHOLASTIC	PRESCHOOL SUPPLIES	225	43555	2170			\$293.74	
SUMMIT FACILITIES AND KITCHEN	SOFT SERVE PARTS	220	43800	2590		002	\$506.69	\$506.69
SUPPLYWORKS	SKIN CLEANSER/MICRO FILTER	220	43800	2110			\$324.11	\$324.11
SUPPLYWORKS	SURECHECK FABRIC	220	43800	2110			\$280.53	\$280.53
SYSCO FOOD SERVICES OF MN, INC	WAVE CAFE FOOD FOR RESALE	220	43800	2590		001	\$454.36	\$454.36
T.A. SCHIFSKY & SONS, INCORPOR	PATCHING ASPHALT	101	42200	2180		002	\$295.58	\$295.58
T.A. SCHIFSKY & SONS, INCORPOR	PATCHING ASPHALT	101	42200	2180		002	\$113.43	\$113.43
U S BANK CREDIT CARD FEES	JULY 2015 CREDIT CARD FEES	220	43800	4890	002		\$2,851.88	\$8,237.63
		225	43400	4890			\$5,385.75	
VANSCOY, RODERIC	WISH UPON A BALLET	220	22040				\$72.00	\$72.00
WINTER EQUIPMENT COMPANY INC	PLOW CUTTING EDGES	701	46500	2220		001	\$1,841.03	\$1,841.03
WRISTBANDS MEDTECH USA INC	SUMMER DISCOVERY WRISTBANDS	225	43535	2170		002	\$427.65	\$427.65
				Т	otal	of a	ıll invoices:	\$31,993.92

Vendor Name	Description	FF	GG	00	AA	СС	Line Amount	Invoice Amt
OMEGA EVENT SERVICES	BIKE AND TRAILS SLICE TENT	101	42050	3190			-\$173.45	-\$173.45
OMEGA EVENT SERVICES	EQC SLICE BOOTH TENT RENTAL		42050				-\$173.45	-\$173.45
ADVANCED ENGINEERING AND	WTP CONSTURCTION SERVICES CP 14-02		47000				\$34,984.35	
AID ELECTRIC CORPORATION	DOOR KEY SWITCHES		46500			002	\$362.68	\$362.68
AMERICAN MESSAGING	SECURITY SYSTEM PAGER-LOCK BOX	101	40210	3190		009	\$4.15	\$4.15
BEISSWENGERS HARDWARE	REPAIR SUPPLIES CC	220	43800	2240		003	\$14.37	\$14.37
BEISSWENGERS HARDWARE	REPAIR SUPPLIES CC	220	43800	2240		001	\$18.39	\$18.39
C & E HARDWARE	REPAIR SUPPLIES CC	220	43800	2240		001	\$15.92	\$15.92
C & E HARDWARE	BATTERIES	601	45050	2280		001	\$9.98	\$9.98
CKC GOOD FOOD	SUMMER DISCOVERY LUNCHES	225	43535	3190		002	\$1,362.98	\$1,362.98
DAYSPRING PRODUCTIONS INC	50% DOWNPAYMENT-BANQUET ROOM & CC CAMERA	230	40900	3190			\$28,676.00	\$28,676.00
DISCOUNT SCHOOL SUPPLY	PRESCHOOL SUPPLIES	225	43555	2170			\$50.60	\$50.60
FIRST STUDENT, INC	AUGUST 12 & 19 FIELD TRIP BUS COST	225	43535	3190		003	\$2,555.68	\$2,555.68
GENESIS EMPLOYEE BENEFITS INC	FLEX REIMBURSEMENTS:08-28-15	101	20431				\$645.11	\$700.11
		101	20432				\$55.00	
GRAINGER, INC.	HALOGEN FLOODLIGHT/FLOOR BOX COVER	220	43800	2240		001	\$156.44	
GREEN LIGHTS RECYCLING INC	LIGHT BULBS	701	46500	2183		001	\$39.40	\$39.40
HAWKINS, INC.	CHEMICAL ORDER & NEW CONTROLLERS	220	43800	2160		001	\$379.24	\$4,699.24
		220	43800	3810			\$4,320.00	
JRK SEED CO.	SUPPLIES FOR EAB INJECTION PROGRAM	101	43900	2180			\$494.00	\$494.00
LEE SPORTS SURFACING	PICKLEBALL LINES AT COMMONS	101	43710	3190			\$1,500.00	\$1,500.00
LIFEGUARD STORE, THE	ROPE/CLAMPS/BOUYS/BAR FLOATS	225	43520	2170		002	\$62.50	
	, , ,	220	43800	2200		004	\$300.20	\$362.70
LIFEGUARD STORE, THE	PUDDLE JUMPER LIFE JACKETS	225	43520	2170		002	\$102.00	
LILLIE SUBURBAN NEWSPAPERS INC	WEB AD-READERS CHOICE AWARD	220	43800	2201			\$50.00	\$50.00
LILLIE SUBURBAN NEWSPAPERS INC	PRINT AD-READERS CHOICE AWARDS	220	43800	2201			\$780.00	\$780.00
LILLIE SUBURBAN NEWSPAPERS INC	BOGO WEB AD/SLICE OF SHOREVIEW	220	43800	2201			\$25.00	\$25.00
LILLIE SUBURBAN NEWSPAPERS INC	BOGO PRINT AD-SLICE OF SHOREVIEW	220	43800	2201			\$334.00	\$334.00
MARTIN, DAVID	HEGGIES PIZZAS FOR RESALE	220	43800	2590		001	\$349.24	\$349.24
MECA	EROSION AND SEDIMENT SEMINAR	101	42050	4500			\$40.00	\$40.00
MENARDS CASHWAY LUMBER **FRIDL	LIGHTS FOR MESSAGE BOARD	701	46500	2183		001	\$79.96	\$79.96
MINNESOTA RECREATION & PARK AS	MRPA CONFERENCE - JB, VD, BS, SS	101	43400	4500			\$1,440.00	\$1,440.00
NEUMAN POOL, INC.	REPAIRS TO UV SYSTEM POOL/LESS CREDIT	220	43800	3810		007	\$525.00	\$525.00
NORTHLAND CAPITAL FINANCIAL SE	FITNESS EQUIPMENT LEASE AUGUST 2015	220	43800	3960	005	;	\$1,388.62	\$1,388.62
PEARSON BROS INC	PMT 1 2015 SEAL COAT PROJ 15-05	404	42200	3190			\$265,385.68	\$265,385.68
PIPER, STEVE	MARKETING FOR SLICE OF SHOREVIEW	270	40250	4890		005	\$250.99	\$550.99
		270	40250	3190		003	\$300.00	
PRECISION LANDSCAPE & TREE, IN	WO 15-13 318 FLORAL DR PUB. TREE REMOVAL	101	43900	3190		002	\$2,072.00	
PRECISION LANDSCAPE & TREE, IN	WO 15-16 4695 DEBRA LANE BLVD TREE	101	43900	3190		002	\$498.00	\$498.00
PRECISION LANDSCAPE & TREE, IN	WO 15-14 FLORAL DRIVE PRIVATE	101	43900	3190	003	5	\$697.38	\$697.38
PRECISION LANDSCAPE & TREE, IN	WO 15-15 5940 ROYAL OAKS DR	101	43900	3190	003	5	\$257.64	\$257.64
PRESS PUBLICATIONS	SLICE OF SHOREVIEW AD-CC DAILIES	220	43800	2201		002	\$386.00	\$386.00
RAMSEY COUNTY PARKS & REC.	ICE RENTAL TIME - SKATING LESSONS	225	43580	3171			\$2,497.50	\$2,497.50
RICOH USA INC.	MAINTENANCE: RICOH COPIERS MPC6502SP	101	40200	3850		002	\$3,978.80	\$3,978.80
RILEY, JESSICA	REIMBURSEMENT/VERMONT SYSTEMS TRAINING	220	43800	4500			\$107.92	\$107.92
SAINTS NORTH FAMILY SKATE CENT	SUMMER DISCOVERY FIELD TRIP	225	43535	3190		001	\$780.00	\$780.00
SAM'S CLUB DIRECT	CC SUPPLIES/BIRTHDAY SUPPLIES	220	43800	2180		002	\$73.68	\$128.48
		220	43800	2591		001	\$54.80	
SAM'S CLUB DIRECT	ANNUAL ADMINISTRATIVE SERVICE FEE	225	43400	4330			\$11.12	
		101	40500	4330		800	\$5.55	\$50.00
		220	43800	4330	1		\$16.68	

COUNCIL REPORT

Vendor Name	Description	FF	GG	00	СС	Line Amount	Invoice Amt
			40200		800	\$5.55	
		101	44100	4330		\$5.55	
		701	46500	4330	001	\$5.55	
SAM'S CLUB DIRECT	MEMBERSHIP FEE RENEWALS 2015	225	43400	4330		\$30.00	
		101	40500	4330	800	\$45.00	
		220	43800	4330		\$45.00	
		101	40200	4330	800	\$15.00	
		101	44100	4330		\$15.00	
		701	46500	4330	001	\$15.00	\$165.00
SHORT ELLIOTT HENDRICKSON, INC	TURTLE LAKE AUGMENTATION STUDY	451	47000	5910		\$6,422.04	
SIMPLEXGRINNELL LP	ALARM SYSTEM SERVICE CALL	220	43800	3810	003	\$1,256.13	\$1,256.13
SITE SUPPLY INC	CATCH BASIN FILTERS-SCHIFSKY RD CP15-01	577	47000	5950		\$15,780.00	\$15,780.00
SPRINT	CHAPMAN CELL PHONE - 7/15-8/14/15	101	40200	3210	002	\$14.08	\$14.08
ST. PAUL, CITY OF	RIVERPRINT-BECKY SOLA BUSINESS CARDS	101	43400	2010		\$34.01	\$34.01
ST. PAUL, CITY OF	RIVERPRINT: BDAY PARTY BROCHURES 1000	220	43800	3390	002	\$1,548.55	\$1,548.55
SUPPLYWORKS	PAPER TOWELS/URINAL SCREEN/FEBREEZE	220	43800	2110		\$1,379.49	
SUPPLYWORKS	SOAP/BATH TISSUE/CAN LINER	220	43800	2110		\$424.12	\$424.12
TIGER OAK PUBLICATIONS INC	FALL/WINTER MN BRIDE AD-PRINT	220	43800	2201	004	\$980.00	\$980.00
TIGER OAK PUBLICATIONS INC	FEATURED VENDOR WEB W/PRINT ISSUE JULY	220	43800	2201	004	\$650.00	\$650.00
TYCO INTEGRATED SECURITY LLC	HOOK UP NEW KEY BOXES TO ALARM SYSTEM	220	43800	3810	003	\$881.44	\$881.44
UNITED STATES BUSINESS PRINTIN	PICKLEBALL CLUB - NAME TAGS	225	43510	2170	020	\$260.89	\$260.89
VERIZON WIRELESS	CELL PHONE CHARGES - 7/11-8/10/15	101	42050	2010		\$35.00	\$957.98
		601	45050	3190		\$400.99	
		101	40200	3210	002	\$521.99	
WEDDINGPAGES, INC.	THE KNOT STOREFRONT	220	43800	2201	004	\$1,110.00	
YALE MECHANICAL INC	POOL BOILER REPAIR	220	43800	3810	007	\$239.50	

Total of all invoices: \$390,267.53

Vendor Name	Description	FF	GG	00	AA	СС	Line Amount	Invoice Amt
4IMPRINT	PRESCHOOL SUPPLIES	225	43555	2170			\$209.30	\$209.30
ALLEN, DEANNE	MINUTES - 7/28 PC, 8/10 CC, 8/17 CC	101	40200	3190		001	\$400.00	
,	, , , , ,	101	44100	3190			\$150.00	\$550.00
BESTLAND, SHARON	FACILITY REFUND	220	22040				\$25.00	\$25.00
BUETOW, KAYLIN	FACILITY REFUND	220	22040				\$25.00	\$25.00
CLINE, MICHELLE	FACILITY REFUND	220	22040				\$25.00	\$25.00
	EMPLOYEE CONTRIBUTIONS: 09-04-15	101	20420				\$137.00	\$137.00
COYLE, SCOTT	SOCCER LEA (GRD 1&2)	220	22040				\$67.00	\$67.00
DYNAMEX INC	COURIER SERVICES	601	45050	3220		001	\$34.35	
		602	45550	3220		001	\$34.35	\$96.98
		101	40200	3220			\$28.28	
ETTEN, JANET	FACILITY REFUND	220	22040				\$50.00	\$50.00
FUGLESTAD, DENISE	REIMBURSEMENT/VSI TRAINING	225	43400	4500			\$104.77	\$104.77
GAUTAM, AALOK	FACILITY REFUND	220	22040				\$25.00	\$25.00
GENESIS EMPLOYEE BENEFITS INC	FLEX - MED/DEPENDENT CARE 09-04-15	101	20431				\$329.28	\$329.28
GRAINGER, INC.	LAMPS	220	43800	2240		003	\$548.00	
GREATER MSP	2015-2016 SALESFORCE LICENSE	240	44400	4330			\$400.00	\$400.00
HER, CHRISSY	FACILITY REFUND	220	22040				\$25.00	\$25.00
HERR, CINDY	FACILITY REFUND		22040				\$25.00	\$25.00
HOFFLANDER, SARAH	FACILITY REFUND	220	22040				\$300.00	\$300.00
ICMA/VANTAGEPOINT TRANSFER-705	ROTH CONTRIBUTIONS: 09-04-15		20430				\$980.00	\$980.00
JOHNSON, BETH	FACILITY REFUND		22040				\$25.00	\$25.00
JOHNSON, LISA	FACILITY REFUND		22040				\$25.00	\$25.00
KNUDSON, DOREEN	FACILITY REFUND		22040				\$500.00	\$500.00
KRAUSMANN, KRISTYN	FACILITY REFUND		22040				\$50.00	\$50.00
KUSTERMAN, KIM	AQUATICS - LEVEL 1		22040				\$64.00	\$64.00
LAKEVIEW TERRACE LLC	TIF NOTE PAYMENT FIRST HALF		48600				\$57,562.12	\$57,562.12
LATOUR, JEN	FACILITY REFUND		22040				\$100.00	\$100.00
LOERA, NORMA	FACILITY REFUND		22040				\$500.00	\$500.00
MATHESON TRI-GAS INC	CO2 ORDER		43800		ı	002	\$101.05	\$101.05
MIDWEST LOCK & SAFE INC	REPAIR/COUNCIL CHAMBER DOORS		43800			001	\$125.00	\$125.00
MINNESOTA CHILD SUPPORT PAYMEN			20435				\$141.50	\$141.50
MINNESOTA ENVIRONMENTAL FUND	MN ENVIRONMENTAL EMPL CONTRIB: 09-04-15		20420				\$35.00	\$35.00
MOUNDS VIEW PUBLIC SCHOOLS	FIELD RENTAL - KICKBALL & TL BASEBALL	225	43510	3190	1	015	\$170.00	\$170.00
MOUNDS VIEW PUBLIC SCHOOLS	CHIPPEWA POOL RENTAL 1507-0455		43800				\$55.00	\$55.00
OATS, TANISHA	FACILITY REFUND		22040				\$25.00	\$25.00
OCEL, KATIE	FACILITY REFUND		22040				\$25.00	\$25.00
PLUMBMASTER, INC	CHILD WATER COOLER		43800)	001	\$474.99	\$474.99
POLAVARAM, HARIKA	FACILITY REFUND		22040				\$25.00	\$25.00
PRECISION LANDSCAPE & TREE, IN	SUPPLIES FOR EAB INJECTION		43900)		\$514.00	\$514.00
REPUBLIC SERVICES INC #899	RECYCLING JULY/AUGUST		42750				\$64,473.56	\$64,473.56
RUCKMAR, BRITNY	FACILITY REFUND		22040				\$25.00	\$25.00
SHIN, DONG	BACK TO SCHOOL DISCO		22040				\$234.00	\$234.00
STABENOW, BRENDA	FACILITY REFUND		22040				\$25.00	\$25.00
STANDARD AND POOR'S	2015A GO BONDS RATING SERVICES		48200)		\$425.60	\$14,000.00
			48300				\$9,948.40	
			48300				\$2,384.20	•
			48300				\$1,241.80	
STEPHENS, ANDREA	FACILITY REFUND		22040				\$50.00	\$50.00
SUPPLYWORKS	PAPER TOWELS/TISSUE/CAN LINERS		43800)		\$1,829.11	\$1,829.11
SUPPLYWORKS	PAPER TOWELS/SKIN CLEANSER/TILE CLNR		43800				\$1,821.60	\$1,821.60
	,						-	

COUNCIL REPORT

Vendor Name	Description	FF	GG	00	AA	СС	Line Amount	Invoice Amt
SUPPLYWORKS	FOAM SOAP/BATH TISSUE/CAN LINER	 220	43800	2110			\$679.22	\$679.22
SUPPLYWORKS	BATH TISSUE/CAN LINER/FOAM SOAP	220	43800	2110			\$338.28	\$338.28
SUPPLYWORKS	SQUEEGEE	220	43800	3890			\$256.69	\$256.69
SUPPLYWORKS	VACUUM BAG	220	43800	2110			\$44.54	\$44.54
T-MOBILE	WATER TOWER CARD - 7/27/15 - 8/26/15	601	45050	3190			\$60.25	\$60.25
THORN, SANDY	4HR SMART DRIVER	220	22040				\$46.00	\$46.00
UNITED WAY - GREATER TWIN CITI	EMPLOYEE CONTRIBUTIONS: 09-04-15	101	20420				\$78.00	
VANCO SERVICES	AUG FITNESS INCENTIVE PROCESSING FEE	220	43800	3190		003	\$132.50	\$132.50
VELOCITEL	REFUND DUPLICATE PAYMENT OF INV #5521	101	20200				\$424.13	\$424.13
WICKLUND, ALEETA	FACILITY REFUND	220	22040				\$25.00	\$25.00
XCEL ENERGY	LIFT STATIONS: ELECTRIC	602	45550	3610		001	\$690.40	\$690.40
XCEL ENERGY	WELLS: ELECTRIC/GAS	601	45050	3610		001	\$14,255.40	\$14,782.84
		601	45050	2140		001	\$527.44	
XCEL ENERGY	PARKS: ELECTRIC/GAS	101	43710	3610			\$1,175.00	
		101	43710	2140			\$231.00	\$1,406.00
YESIPCHUK, INNA	FACILITY REFUND	220	22040				\$500.00	\$500.00
				Т	otal	of a	all invoices:	\$166,362.11

Vendor Name	Description	FF	GG	00	AA	СС	Line Amount	Invoice Amt
MULTICARE ASSOCIATES TWIN CITI	NEW EE TESTING	101	40210	3190		006	-\$96.00	-\$96.00
10ZIG TECHNOLOGY INC	ZERO CLIENT PC REPLACEMENTS		40550			011	\$7,909.00	\$7,909.00
A & L SUPERIOR SOD, INC	SOD TURFGRASS FOR BALLFIELD		43710			• • • • • • • • • • • • • • • • • • • •	\$84.00	\$84.00
A & L SUPERIOR SOD, INC	TURFGRASS SOD FOR MCCULLOUGH BALLFIELD		43710				\$9.60	\$9.60
ALLIANCE BENEFIT GROUP INC	COBRA ADMINISTRATION		40210			003	\$9.00	\$9.00
BAD GIRLFRIENDS	ENTERTAINMENT DEPOSIT FOR SLICE 2016		40250			001	\$450.00	\$450.00
BATTERIES PLUS	BATTERIES FOR IRRIGATION REMOTE CONTROL		43710				\$89.98	\$89.98
BATTERIES PLUS	SHOP SUPPLIES		46500			003	\$7.29	
BATTERIES PLUS	BATTERY FOR 3280D TORO #3		46500			002	\$86.50	\$86.50
BATTERIES PLUS	SHOP SUPPLIES		46500			003	\$24.34	\$24.34
BEISSWENGERS HARDWARE	MOLE AND GOPHER BAIT/TOOLS		43710				\$39.34	\$39.34
BEISSWENGERS HARDWARE	PARTS FOR HARPER SWEEPER		46500			002	\$7.13	\$7.13
	REPLACEMENT DOORS FOR UPPER LEVEL CC	405	43800	3810			\$31,625.00	\$31,625.00
C & E HARDWARE	FASTENERS/DRILL BIT	701	46500	2220		003	\$34.98	\$34.98
C & E HARDWARE	MISC PARTS FOR HARPER SWEEPER & JD5220	701	46500	2220		002	\$7.16	\$7.16
CDW GOVERNMENT, INC	HARD DRIVE AND WIRELESS KEYBOARD/MOUSE	101	40550	2180		001	\$178.18	\$178.18
CDW GOVERNMENT, INC	APC UPS	101	40550	3860		004	\$67.27	\$67.27
CDW GOVERNMENT, INC	HP MONITOR/CRUMB	422	40550	5800		011	\$209.81	\$209.81
CDW GOVERNMENT, INC	HARD DRIVE REPLACEMENT FOR SYNOLOGY	101	40550	3860		004	\$566.50	\$566.50
CITY OF COON RAPIDS	TAPING OF SLICE PARADE	230	40900	3190			\$5,095.00	\$5,095.00
CORRPRO COMPANIES INC	NORTH TOWER TANK INSPECTION	601	45050	3190		003	\$765.00	\$765.00
DUKE'S ROOT CONTROL, INC.	ROOT FOAMING OF SEWER LINES	602	45550	3190		001	\$15,132.00	\$15,132.00
ELECTRO WATCHMAN INC.	SECURITY MONITORING MAINTENANCE CENTER	701	46500	3196			\$74.85	\$74.85
FERGUSON WATERWORKS #2516	2" COUPLINGS	601	45050	2280		004	\$223.20	\$223.20
FERGUSON WATERWORKS #2516	VALVE BOX PARTS	601	45050	2280		004	\$1,171.69	\$1,171.69
FIRST LAB, INC.	CDL RANDOM TESTING	101	40210	3190		001	\$195.80	\$195.80
FRONTIER AG & TURF INC	PARTS FOR HARPER SWEEPER	701	46500	2220		002	\$97.87	\$97.87
GRAINGER, INC.	ACTUATOR MOTOR BOOSTER	601	45050	2280		005	\$571.63	\$571.63
GRAINGER, INC.	OFFICE CHAIR CASTERS	701	46500	2220		003	\$13.08	\$13.08
HORIZON COMMERCIAL POOL SUPPLY	WHIRLPOOL DRAIN COVER REPAIRS	220	43800	3810		007	\$239.03	\$239.03
HORIZON COMMERCIAL POOL SUPPLY	LIGHT COVERS FOR ZERO BEACH	220	43800	2240		003	\$477.15	\$477.15
HOTSY EQUIPMENT CO	CAR WASH REPAIR	701	46500	3196		001	\$169.24	\$169.24
LEAGUE OF MINNESOTA CITIES	MAYOR MEMBERSHIP DUES	101	40100	4330		003	\$30.00	\$30.00
LEE SPORTS SURFACING	SHAMROCK PARK TENNIS COURT REPAIRS	405	43710	3810			\$51,325.00	\$51,325.00
LEE SPORTS SURFACING	MCCULLOUGH PARK TENNIS COURT REPAIRS	405	43710	3810			\$36,200.00	\$36,200.00
LILLIE SUBURBAN NEWSPAPERS INC	MOD/SET UP CREW AD	101	40210	3360	1	001	\$516.00	\$516.00
LILLIE SUBURBAN NEWSPAPERS INC	FALL JOBS AD 2 WEEKS	101	40210	3360	001	1	\$1,032.00	\$1,032.00
MANSFIELD OIL COMPANY	UNLEADED FUEL	701	46500	2120		001	\$3,607.22	\$3,607.22
MINNESOTA DEPARTMENT OF CORREC	6 MONTHS OF DOC WORK CREW SERVICES	101	43450	3190	1		\$4,125.55	\$41,255.50
		101	43710	3190	ı		\$8,251.09	
		101	43900	3190	1		\$4,125.55	
		601	45050	3190	1		\$10,313.88	
		603	45850	3190)		\$10,313.88	
		701	46500	3196	,		\$4,125.55	
MINNESOTA'S BOOK STORE	MN CONST STANDARDS 2016	101	42050	2010)		\$89.00	\$89.00
MTI DISTRIBUTING, INC	IRRIGATION REPAIR SUPPLIES	101	43710	2240)		\$102.04	\$102.04
MTI DISTRIBUTING, INC	IRRIGATION REPAIR SUPPLIES		43710				\$10.26	\$10.26
MTI DISTRIBUTING, INC	IRRIGATION REPAIR SUPPLIES		43710				\$29.69	\$29.69
MTI DISTRIBUTING, INC	IRRIGATION REPAIR SUPPLIES		43710				\$199.14	\$199.14
NAPA AUTO PARTS	BRAKE LINE REPAIR SWEEPER S1		46500			002		\$6.57
NAPA AUTO PARTS	SHOP SUPPLIES	701	46500	2220)	003	\$2.99	\$2.99

NAPA AUTO PARTS SHOP SUPPLIES 701 46500 2220 003 \$30.78 \$39.99 NAPA AUTO PARTS SHOP SUPPLIES 701 46500 2220 003 \$33.16 \$32.78 NAPA AUTO PARTS SHOP SUPPLIES 701 46500 2220 003 \$33.16 \$32.78 NAPA AUTO PARTS SHOP SUPPLIES 701 46500 2220 003 \$33.16 \$32.78 NAPA AUTO PARTS SHOP SUPPLIES 701 46500 2220 003 \$33.16 \$35.16 NORTHERN ELECTRICAL CONTRACTOR REPAIRS TO FOOL LIGHTS 220 43800 3810 007 \$1,028.60 \$1,028.60 NORTHERN ELECTRICAL CONTRACTOR CONNECT VERY STATE VERY	Vendor Name	Description	FF	GG	00	AA	СС	Line Amount	Invoice Amt
MAPA AUTO PARTS SHOP SUPPLIES 701 46500 2220 003 \$30.76 \$320.76 NORTHERN ELECTRICAL CONTRACTOR SHOP SUPPLIES 701 46500 2230 003 \$35.71 \$35.16 NORTHERN ELECTRICAL CONTRACTOR CONCERT VETO SI IN MECHANICAL ROON CC 220 43800 3810 007 \$10,028.60 \$4547.70 NORTHERN ELECTRICAL CONTRACTOR REPAIRS TO FORCE GREEK FIELDS 010 43770 3190 0 \$350.50 \$260.00 NORTHERN ELECTRICAL CONTRACTOR REPAIRS TO RICE GREEK FIELDS 010 43770 3190 0 \$300.50 \$350.50 NORTHERN ELECTRICAL CONTRACTOR REPAIRS TO RICE GREEK FIELDS 010 43770 3190 0 \$300.50 \$300.50 NINSS TRUCK & EQUIPMENT INC NEW MINT 210 MAKE DUMP TRUCK 701 46500 5800 5104,172.89 \$100,665.94 NINSS TRUCK & EQUIPMENT INC GENERAL OFFICE SUPPLIES 010 40500 2010 002 \$250.02 OFFICE DEPOT GENERAL OFFICE SUPPLIES 010 40500 2010 002 \$322.40 OFFICE DEPOT GENERAL OFFICE SUPPLIES 010 40500 2010 002 \$322.40 OFFICE DEPOT GENERAL OFFICE SUPPLIES 010 40500 2010 002 \$315.29 OFFICE DEPOT CALENDARS 010 40500 2010 001 \$30.19 OFFICE DEPOT CALENDARS 010 40500 2010 001 \$30.01 OFFICE DEPOT CALENDARS 010 40500 2010 002 \$315.29 OFFICE DEPOT CALENDARS 010 40500 2010 001 \$30.01 OFFICE DEPOT CALENDARS 010 40500 2010 001 \$30.01 OFFICE DEPOT PRESCHOOL SUPPLIES 025 43555 2170 002 \$18.58 OFFICE DEPOT PRESCHOOL SUPPLIES 025 43555 2170 002 \$18.58 OFFICE DEPOT PRESCHOOL SUPPLIES 025 43555 2170 002 \$18.58 OFFICE DEPOT PRESCHOOL SUPPLIES 010 43710 3990 010 \$30.00 OFFICE DEPOT PRESCHOOL SUPPLIES 010 43710 3990 010 \$30.00 OFFICE DEPOT PRESCHOOL SUPPLIES 010 43710 3990 010 \$30.00 OFFICE DEPOT PRESCHOOL SUPPLIES 010 43710 3990 010 \$30.00 OFFICE DEPOT	NAPA AUTO PARTS	SANDING DISKS FOR SIGN SHOP	101	42200	2180		003	\$9.99	\$9.99
MAPS AUTO PARTS SHOP SUPPLIES 701 ASDO 2220 003 33.31.61									
NORTHERN ELECTRICAL CONTRACTOR CONNECT YFD'S IN NECHANICAL ROON CC 220 43800 3810 007 \$1,028,60 \$1,028,60 \$4547,10 \$4574,10 \$4574,00 \$20,0									
NORTHENN ELECTRICAL CONTRACTOR			220	43800	3810				
NORTHERN ELECTRICAL CONTRACTOR REPAIRS TO RICE CREEK FIELDS BUILDING 101 43710 3190 3200.00 3200.00 NORTHERN ELECTRICAL CONTRACTOR REPAIRS TO RICE CREEK FIELDS 101 43710 3190 3100.656.96 3100.			220	43800	3810		003		
NORTHERN ELECTRICAL CONTRACTOR REPAIRS TO RICE CREEK FIELDS 101 43710 3190 \$300.05 \$300.656.96 \$100.65									
NUSS TRUCK & EQUIPMENT INC NEU UNIT 210 MACK DUMP TRUCK 701 46500 5800 \$100,655.06 \$100,65			101	43710	3190				\$300.50
NUSS TRUCK & EQUIPMENT INC SENERAL OFFICE SUPPLIES 101 40500 2010 008		NEW UNIT 610 MACK DUMP TRUCK							\$100,656.96
OFFICE DEPOT GENERAL OFFICE SUPPLIES 101 40200 2010 002 3200.00 345.10 2525.00 OFFICE DEPOT GENERAL OFFICE SUPPLIES 101 40200 2010 002 325.00 \$825.00 \$826.00 OFFICE DEPOT GENERAL OFFICE SUPPLIES 101 40500 2010 002 325.49 \$846.08 OFFICE DEPOT CALENDARS 101 40500 2010 002 3515.29 \$33.58 OFFICE DEPOT CALENDARS 101 40500 2010 002 3515.29 \$22.47 OFFICE DEPOT CALENDARS 101 40500 2010 001 520.19 \$61.89 OFFICE DEPOT CALENDARS 101 40200 2010 001 535.29 \$61.89 OFFICE DEPOT AQUATIC & PRESCHOOL SUPPLIES 220 43800 2010 001 535.24 \$15.99 OFFICE DEPOT AQUATIC & PRESCHOOL SUPPLIES 225 43555 2170 \$15.99 \$15.99 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$18.6.79 \$44.96 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$4.97 \$4.97 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$4.97			701	46500	5800	,			
OFFICE DEPOT GENERAL OFFICE SUPPLIES 101 40200 2010 002 \$318.63 OFFICE DEPOT CALENDARS 101 40500 2010 002 \$32.49 \$30.58 OFFICE DEPOT CALENDARS 101 40500 2010 002 \$15.29 \$30.58 OFFICE DEPOT CALENDARS 101 40500 2010 003 \$15.29 \$30.58 OFFICE DEPOT CALENDARS 101 40500 2010 002 \$15.99 \$61.89 OFFICE DEPOT CALENDARS 220 43800 2010 001 \$20.49 \$51.99 OFFICE DEPOT AQUATIC & PRESCHOOL SUPPLIES 225 43552 2170 002 \$18.58 \$35.37 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 002 \$18.59 \$15.99 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 002 \$18.67 \$4.96 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$4.96 \$4.96 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$4.97 \$4.97 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555							800		
OFFICE DEPOT GENERAL OFFICE SUPPLIES 101 40500 2010 002 \$33.49 \$32.49 \$64.08 OFFICE DEPOT CALENDARS 101 40500 2010 002 \$31.59 \$31.59 \$30.58 OFFICE DEPOT CALENDARS 101 40500 2010 002 \$31.59 \$30.58 OFFICE DEPOT CALENDARS 101 43600 2010 002 \$31.59 \$50.89 OFFICE DEPOT CALENDARS 220 43800 2010 002 \$315.99 \$61.89 OFFICE DEPOT CALENDARS 220 43800 2010 001 \$315.99 \$15.79 OFFICE DEPOT CALENDARS 220 43800 2010 001 \$315.99 \$16.79 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 002 \$115.79 \$16.79 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$20.36 \$44.96 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$44.96 \$49.97 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$44.96 \$47.97 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$44.96 \$47.97 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$45.00 \$30.00 OFFICE DEPOT VINNL LETTERS RIMBERS			101	40200	2010		002	\$250.02	
OFFICE DEPOT CALENDARS 101 40500 2010 002 \$15.29 \$30.58 \$10.79 \$10.0000 \$15.29 \$10.0000 \$15.29 \$10.0000 \$15.29 \$10.0000 \$15.29 \$10.0000 \$15.29 \$10.0000 \$15.29 \$10.0000 \$15.29 \$10.0000 \$15.20 \$10.0000 \$15.29 \$10.0000 \$10.0000 \$15.29 \$10.0000 \$10.0000 \$15.29 \$10.0000 \$10.0000 \$15.29 \$10.0000 \$10.0000 \$15.99 \$10.0000 \$10.0000 \$15.99 \$10.0000 \$10.0000 \$15.99 \$10.0000 \$10.0000 \$15.99 \$10.0000 \$10.0000 \$15.99 \$10.0000 \$10.0000 \$15.99 \$10.0000 \$10.0000 \$15.99 \$10.0000 \$10.0000 \$15.99 \$10.0000 \$10.0000 \$15.99 \$10.0000 \$10.0000 \$15.99 \$10.0000 \$10.0000 \$15.99 \$10.0000 \$10.0000 \$15.99 \$10.0000 \$15.99 \$10.0000 \$10.0000 \$15.99 \$10.0000 \$15.90 \$10.0000 \$15.9	OFFICE DEPOT	GENERAL OFFICE SUPPLIES	101	40200	2010		002	\$18.63	
OFFICE DEPOT CALENDARS 101 40500 2010 003 515.29 \$35.58 OFFICE DEPOT CALENDARS 101 40500 2010 003 \$15.29 \$15.29 OFFICE DEPOT CALENDARS 101 43000 2010 001 \$22.17 \$20.48 OFFICE DEPOT CALENDARS 220 43800 2010 001 \$31.99 \$61.89 OFFICE DEPOT CALENDARS 220 43800 2010 001 \$31.99 \$15.99 OFFICE DEPOT CALENDARS 220 43800 2010 001 \$31.99 \$16.79 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 002 \$18.58 \$35.37 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$210 \$20.36 \$4.96 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$4.97 \$4.96 \$4.96 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$4.97 \$4.97 \$4.97 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$4.97 \$4.97 \$4.97 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$4.97 \$4.97 \$4.97 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$4.97 \$4.97 \$4.97 OFFICE DEPOT <td>OFFICE DEPOT</td> <td>GENERAL OFFICE SUPPLIES</td> <td>101</td> <td>40500</td> <td>2010</td> <td></td> <td>002</td> <td>\$32.49</td> <td>\$64.08</td>	OFFICE DEPOT	GENERAL OFFICE SUPPLIES	101	40500	2010		002	\$32.49	\$64.08
OFFICE DEPOT			101	42050	2010			\$31.59	
OFFICE DEPOT	OFFICE DEPOT	CALENDARS	101	40500	2010		002	\$15.29	\$30.58
Section Sect			101	40550	2010		003	\$15.29	
101 40200 2010 002 \$15.99	OFFICE DEPOT	CALENDARS	101	43400	2010			\$22.47	
OFFICE DEPOT CALENDARS 220 43800 2010 001 \$33.24 OFFICE DEPOT AQUATIC & PRESCHOOL SUPPLIES 225 43555 2170 02 \$18.58 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$16.79 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$200.36 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$4.96 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$4.96 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$4.97 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$4.97 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$4.97 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$5.74 OFFICE DEPOT VINITL LETTERS & NUMBERS 226 43555 2170 \$5.75 OFFICE DEPOT VINITL LETTERS & NUMBERS 226 43555 2170 \$5.75 OFFICE DEPOT VINITL LETTERS & NUMBERS 226 43550 2170 \$5.00 ON SITE SANITATION INC TOILET RENTAL FOR NUMBERS 226 43550 2280 001 \$20.00 ON SITE SANITATION INC TOILET RENTAL FOR SHAMROCK PARK 101 43710 3950 \$5.50 ON SITE SANITATION I			220	43800	2010		001	\$20.19	\$61.89
OFFICE DEPOT AQUATIC & PRESCHOOL SUPPLIES 225 43520 2170 002 \$18.58 \$35.37 \$ OFFICE DEPOT PRESCHOOL SUPPLIES 225 43525 2170 \$16.79 \$ OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$20.36 \$ OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$20.36 \$4.96 \$4.96 \$4.96 \$6.96 \$1.00			101	40200	2010		002	\$15.99	
OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$16.79			101	42050	2010			\$3.24	
OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$200.36 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$4.96 \$4.96 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$4.96 \$4.96 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$4.97 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$5.74 \$5.74 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$5.74 \$5.74 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$5.74 \$5.74 OFFICE DEPOT VINYL LETTERS & NUMBERS 220 43800 2180 001 \$30.36 \$30.36 ON SITE SANITATION INC ON SITE SERVICE CALLS FOR TOILETS 101 43710 3950 \$40.00 ON SITE SANITATION INC TOILET RENTAL FOR BUCHER PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR COMMONS PARK 101 43710 3950 \$160.00 \$160.00 ON SITE SANITATION INC TOILET RENTAL FOR NEUCHLOUGH PARK 101 43710 3950 \$450.00 \$450.00 ON SITE SANITATION INC TOILET RENTAL FOR RICE CREEK FIELDS 101 43710 3950 \$550.00 \$550.00 ON SITE SANITATION INC TOILET RENTAL FOR RICE CREEK FIELDS 101 43710 3950 \$550.00 \$550.00 ON SITE SANITATION INC TOILET RENTAL FOR SITZER PARK 101 43710 3950 \$550.00 \$550.00 ON SITE SANITATION INC TOILET RENTAL FOR SITZER PARK 101 43710 3950 \$550.00 \$500.00 ON SITE SANITATION INC TOILET RENTAL FOR SITZER PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR BUBBY THEISEN PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SITZER PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SITZER PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR WILLSON PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR BUBBY THEISEN PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR BUBBY THEISEN PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SINCE LAKE SCHOOL 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SINCE LAKE SCHOOL 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SINCE LAKE SCHOOL 101 43710 3950	OFFICE DEPOT	CALENDARS	220	43800	2010		001	\$15.99	
OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$4.96 \$4.96 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$4.96 \$4.96 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$4.97 \$4.97 \$4.97 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$4.97 \$4.97 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$4.97 \$4.97 OFFICE DEPOT VINYL LETTERS & NUMBERS 226 43555 2170 \$4.90 \$5.74 \$5.74 OFFICE DEPOT VINYL LETTERS & NUMBERS 220 43800 2180 010 \$30.36 \$30.36 ON SITE SANITATION INC ON SITE SERVICE CALLS FOR TOILETS 101 43710 3950 \$40.00 \$30.30 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR BUCHER PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR COMMONS PARK 101 43710 3950 \$3160.00 \$160.00 ON SITE SANITATION INC TOILET RENTAL FOR RICE CREEK FIELDS 101 43710 3950 \$160.00 \$160.00 ON SITE SANITATION INC TOILET RENTAL FOR RICE CREEK FIELDS 101 43710 3950 \$550.00 \$550.00 ON SITE SANITATION INC TOILET RENTAL FOR RICE CREEK FIELDS 101 43710 3950 \$550.00 \$550.00 ON SITE SANITATION INC TOILET RENTAL FOR SHAMROCK PARK 101 43710 3950 \$550.00 \$550.00 ON SITE SANITATION INC TOILET RENTAL FOR SHAMROCK PARK 101 43710 3950 \$580.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SHAMROCK PARK 101 43710 3950 \$580.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SHAMROCK PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SHIZER PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SHIZER PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SHIZER PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SHIZER PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC CLEAN TIPPED TOILET AT MCCULLOUGH PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC CLEAN TIPPED TOILET AT MCCULLOUGH PARK 101 43710 3950 \$20.00 \$20.00 \$75.00 ON SITE SANITATION INC CLEAN TIPPED TOILET AT MCCULLOUGH PARK 101 43710 3950 \$20.00 \$20.00 \$20.00 ON SITE SANITATION INC CLEAN TIPPED TOILET AT MCCULLOUGH PARK 101 43710 3950 \$20.00 \$20.00 \$20.00 ON S	OFFICE DEPOT	AQUATIC & PRESCHOOL SUPPLIES	225	43520	2170		002	\$18.58	\$35.37
OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$4.96 \$4.96 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$4.97 \$4.97 \$4.97 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$4.97 \$4.97 \$4.97 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$5.74 \$5.74 OFFICE DEPOT VINYL LETTERS & NUMBERS 226 43800 2180 001 \$30.36 \$30.36 \$30.36 ON SITE SANITATION INC ON SITE SERVICE CALLS FOR TOILETS 101 43710 3950 \$40.00 \$30.36 ON SITE SANITATION INC TOILET RENTAL FOR BUCHER PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR BUCHER PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR COMMONS PARK 101 43710 3950 \$360.00 \$360.00 ON SITE SANITATION INC TOILET RENTAL FOR RICE CREEK FIELDS 101 43710 3950 \$160.00 \$160.00 ON SITE SANITATION INC TOILET RENTAL FOR RICE CREEK FIELDS 101 43710 3950 \$250.00 \$250.00 ON SITE SANITATION INC TOILET RENTAL FOR SHAMROCK PARK 101 43710 3950 \$55.00 \$55.00 ON SITE SANITATION INC TOILET RENTAL FOR SHAMROCK PARK 101 43710 3950 \$55.00 \$55.00 ON SITE SANITATION INC TOILET RENTAL FOR SHAMROCK PARK 101 43710 3950 \$580.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SHAMROCK PARK 101 43710 3950 \$580.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR WILSON PARK 101 43710 3950 \$580.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR WILSON PARK 101 43710 3950 \$580.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR WILSON PARK 101 43710 3950 \$580.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SINJER PARK 101 43710 3950 \$580.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SINJER PARK 101 43710 3950 \$580.00 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SINJER PARK 101 43710 3950 \$580.00 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR WILSON PARK 101 43710 3950 \$580.00 \$580.00 \$380.00 ON SITE SANITATION INC CLEAN TIPPED TOILET AT MCCULLOUGH PARK 101 43710 3950 \$580.00 \$580.00 \$380.00 ON SITE SANITATION INC CLEAN TIPPED TOILET AT MCCULLOUGH PARK 101 43710 3950 \$580.00 \$69.00 \$60.00 \$60.00 \$60.00 \$60.00 \$60.00 \$60.00 \$60.00 \$60.00 \$			225	43555	2170			\$16.79	
OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$4.97 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$5.74 \$5.74 OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$3.0.36 \$30.36 OFFICE DEPOT VINYL LETTERS & NUMBERS 220 43800 2180 001 \$30.36 \$30.36 ON SITE SANITATION INC ON SITE SERVICE CALLS FOR TOILETS 101 43710 3950 \$40.00 ON SITE SANITATION INC TOILET RENTAL FOR BUCHER PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR BUCHER PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR ROUGH PARK 101 43710 3950 \$160.00 \$160.00 ON SITE SANITATION INC TOILET RENTAL FOR MCCULLOUGH PARK 101 43710 3950 \$250.00 \$250.00 ON SITE SANITATION INC TOILET RENTAL FOR RICE CREEK FIELDS 101 43710 3950 \$75.00 \$75.00 ON SITE SANITATION INC TOILET RENTAL FOR SHAMROCK PARK 101 43710 3950 \$505.00 \$505.00 ON SITE SANITATION INC TOILET RENTAL FOR SITZER PARK 101 43710 3950 \$505.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SITZER PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SITZER PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR WILSON PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR WILSON PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR WILSON PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR WILSON PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR WILSON PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR WILSON PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SNAIL LAKE SCHOOL 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SNAIL LAKE SCHOOL 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SNAIL LAKE SCHOOL 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SNAIL LAKE SCHOOL 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SNAIL LAKE SCHOOL 101 43710 3950 \$380.00 \$380.00 ON S	OFFICE DEPOT	PRESCHOOL SUPPLIES	225	43555	2170			\$200.36	
OFFICE DEPOT PRESCHOOL SUPPLIES 225 43555 2170 \$5.74 \$5.74 OFFICE DEPOT VINY LETTERS & NUMBERS 220 43800 2180 001 \$30.36 \$30.36 ON SITE SANITATION INC ON SITE SERVICE CALLS FOR TOILETS 101 43710 3950 \$40.00 ON SITE SANITATION INC TOILET RENTAL FOR BUCHER PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR COMMONS PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR COMMONS PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR MCCULLOUGH PARK 101 43710 3950 \$250.00 \$250.00 ON SITE SANITATION INC TOILET RENTAL FOR MCCULLOUGH PARK 101 43710 3950 \$350.00 \$250.00 ON SITE SANITATION INC TOILET RENTAL FOR RICE CREEK FIELDS 101 43710 3950 \$505.00 \$75.00 ON SITE SANITATION INC TOILET RENTAL FOR SHAMBOCK PARK 101 43710 3950 \$505.00 \$505.00 ON SITE SANITATION INC TOILET RENTAL FOR SITZER PARK 101 43710 3950 \$505.00 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SITZER PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR BOBBY THEISEN PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR WILSON PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR WILSON PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR WILSON PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR WILSON PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC CLEAN TIPPED TOILET AT MCCULLOUGH PARK 101 43710 3950 \$50.00 \$380.00 \$380.00 ON SITE SANITATION INC CLEAN TIPPED TOILET AT MCCULLOUGH PARK 101 43710 3950 \$50.00 \$380.00 \$380.00 ON SITE SANITATION INC CLEAN TIPPED TOILET AT MCCULLOUGH PARK 101 43710 3950 \$50.00 \$50.00 \$380	OFFICE DEPOT	PRESCHOOL SUPPLIES	225	43555	2170			\$4.96	\$4.96
OFFICE DEPOT VINYL LETTERS & NUMBERS 220 43800 2180 001 \$30.36 \$30.36 ON SITE SANITATION INC ON SITE SERVICE CALLS FOR TOILETS 101 43710 3950 \$40.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR BUCHER PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR COMMONS PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR COMMONS PARK 101 43710 3950 \$160.00 \$160.00 ON SITE SANITATION INC TOILET RENTAL FOR MCCULLOUGH PARK 101 43710 3950 \$250.00 \$250.00 ON SITE SANITATION INC TOILET RENTAL FOR MCCULLOUGH PARK 101 43710 3950 \$250.00 \$250.00 ON SITE SANITATION INC TOILET RENTAL FOR RICE CREEK FIELDS 101 43710 3950 \$250.00 \$75.00 ON SITE SANITATION INC TOILET RENTAL FOR SHAMROCK PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SHAMROCK PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SITER PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR BOBBY THEISEN PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR WILSON PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR WILSON PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC CLEAN TIPPED TOILET AT MCCULLOUGH PARK 101 43710 3950 \$380.00 \$20.00 OXYGEN SERVICE COMPANY WELDING SHOP SUPPLIES 701 46500 2220 003 \$89.32 \$89.32 \$89.32 PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$21.34 \$21.34 PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$50.88 \$50.88 PRECISION LANDSCAPE & TREE, IN TRIM STORM DAMAGE TREE AT MCCULLOUGH 101 43710 3190 \$725.00 \$7	OFFICE DEPOT	PRESCHOOL SUPPLIES	225	43555	2170			\$4.97	\$4.97
ON SITE SANITATION INC	OFFICE DEPOT	PRESCHOOL SUPPLIES	225	43555	2170			\$5.74	\$5.74
ON SITE SANITATION INC TOILET RENTAL FOR BUCHER PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR COMMONS PARK 101 43710 3950 \$380.00 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR LAKE JUDY PARK 101 43710 3950 \$160.00 \$160.00 ON SITE SANITATION INC TOILET RENTAL FOR LAKE JUDY PARK 101 43710 3950 \$250.00 \$250.00 ON SITE SANITATION INC TOILET RENTAL FOR RICE CREEK FIELDS 101 43710 3950 \$505.00 \$75.00 ON SITE SANITATION INC TOILET RENTAL FOR SIZER PARK 101 43710 3950 \$505.00 \$505.00 ON SITE SANITATION INC TOILET RENTAL FOR SIZER PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SIZER PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR BOBBY THEISEN PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR WILSON PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR WILSON PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR WILSON PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC CLEAN TIPPED TOILET AT MCCULLOUGH PARK 101 43710 3950 \$20.00 \$20.00 OXYGEN SERVICE COMPANY WELDING SHOP SUPPLIES 701 46500 2220 002 \$21.34 \$21.34 PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$50.88 \$50.88 PRECISION LANDSCAPE & TREE, IN TRIM STORM DAMAGE TREE AT MCCULLOUGH 101 43710 3190 \$725.00 \$	OFFICE DEPOT	VINYL LETTERS & NUMBERS	220	43800	2180		001	\$30.36	\$30.36
ON SITE SANITATION INC TOILET RENTAL FOR COMMONS PARK 101 43710 3950 \$380.00 \$160.00 ON SITE SANITATION INC TOILET RENTAL FOR MCCULLOUGH PARK 101 43710 3950 \$250.00 \$250.00 ON SITE SANITATION INC TOILET RENTAL FOR MCCULLOUGH PARK 101 43710 3950 \$250.00 \$250.00 ON SITE SANITATION INC TOILET RENTAL FOR RICE CREEK FIELDS 101 43710 3950 \$75.00 \$75.00 ON SITE SANITATION INC TOILET RENTAL FOR SHAMROCK PARK 101 43710 3950 \$380.00 \$505.00 ON SITE SANITATION INC TOILET RENTAL FOR SITZER PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SIDERY HEISEN PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR BOBBY THEISEN PARK 101 43710 3950 \$380.00 \$160.00 ON SITE SANITATION INC TOILET RENTAL FOR WILSON PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SNAIL LAKE SCHOOL 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SNAIL LAKE SCHOOL 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC CLEAN TIPPED TOILET AT MCCULLOUGH PARK 101 43710 3950 \$380.00 \$20.00 OXYGEN SERVICE COMPANY WELDING SHOP SUPPLIES 701 46500 2220 003 \$89.32 \$89.32 PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$21.34 \$21.34 PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$21.34 \$21.34 PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$21.34 \$21.34 PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$21.34 \$21.34 PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$21.34 \$21.34 PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$21.34 \$21.34 PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$21.34 \$21.34 PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$21.34 \$21.34 PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$21.34 \$21.34 PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$21.34 \$21.34 \$21.34 PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$22.00 002 \$21.34 \$21.34 \$2	ON SITE SANITATION INC	ON SITE SERVICE CALLS FOR TOILETS	101	43710	3950			\$40.00	
ON SITE SANITATION INC TOILET RENTAL FOR LAKE JUDY PARK 101 43710 3950 \$160.00 \$250.00 ON SITE SANITATION INC TOILET RENTAL FOR MCCULLOUGH PARK 101 43710 3950 \$250.00 \$250.00 ON SITE SANITATION INC TOILET RENTAL FOR RICE CREEK FIELDS 101 43710 3950 \$75.00 \$75.00 ON SITE SANITATION INC TOILET RENTAL FOR SHAMROCK PARK 101 43710 3950 \$505.00 \$505.00 ON SITE SANITATION INC TOILET RENTAL FOR SITZER PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR BOBBY THEISEN PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR WILSON PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR WILSON PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SNAIL LAKE SCHOOL 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SNAIL LAKE SCHOOL 101 43710 3950 \$380.00 \$380.00 OXYGEN SERVICE COMPANY WELDING SHOP SUPPLIES 701 46500 2220 003 \$89.32 \$89.32 PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$21.34 \$21.34 PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$50.88 \$50.88 PRECISION LANDSCAPE & TREE, IN TRIM STORM DAMAGE TREE AT MCCULLOUGH 101 43710 3190 \$725.00 \$725.00 QUALITY FLOW SYSTEMS INC BATTERY VOLTAGE UPS FOR LIFT STATIONS 602 45550 2282 001 \$20.00 \$20.00 QUALITY FLOW SYSTEMS INC TRANSDUCER FOR SNAIL LAKE 602 45550 2282 001 \$800.00 \$800.00 QUALITY FLOW SYSTEMS INC SOFTWARE UPDATE ALARMS ON LIFT STATION 602 45550 3190 003 \$2,400.00 \$2,400.00 REHBEIN'S BLACK DIRT/SNOW REMO BLACK DIRT 101 42200 2180 001 \$138.00 \$138.00 RIVARD COMPANIES INC REC—STEP CERT PLAYGROUND MULCH 101 43710 2260 \$1,7715.00 \$1,7715.00 \$1,7715.00 \$1,7715.00 \$1,7715.00 \$1,7715.00 \$1,7715.00 \$1,7715.00	ON SITE SANITATION INC	TOILET RENTAL FOR BUCHER PARK	101	43710	3950			\$380.00	\$380.00
ON SITE SANITATION INC TOILET RENTAL FOR MCCULLOUGH PARK 101 43710 3950 \$250.00 \$250.00 ON SITE SANITATION INC TOILET RENTAL FOR RICE CREEK FIELDS 101 43710 3950 \$75.00 \$75.00 ON SITE SANITATION INC TOILET RENTAL FOR SHAMROCK PARK 101 43710 3950 \$505.00 \$505.00 ON SITE SANITATION INC TOILET RENTAL FOR SITZER PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR BOBBY THEISEN PARK 101 43710 3950 \$160.00 \$160.00 ON SITE SANITATION INC TOILET RENTAL FOR WILSON PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR WILSON PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SNAIL LAKE SCHOOL 101 43710 3950 \$75.00 \$75.00 ON SITE SANITATION INC CLEAN TIPPED TOILET AT MCCULLOUGH PARK 101 43710 3950 \$20.00 \$20.00 OXYGEN SERVICE COMPANY WELDING SHOP SUPPLIES 701 46500 2220 003 \$89.32 \$89.32 PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$21.34 \$21.34 PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$50.88 \$50.88 PRECISION LANDSCAPE & TREE, IN TRIM STORM DAMAGE TREE AT MCCULLOUGH 101 43710 3190 \$725.00 \$725.00 QUALITY FLOW SYSTEMS INC BATTERY VOLTAGE UPS FOR LIFT STATIONS 602 45550 2282 001 \$20.1.75 \$201.75 QUALITY FLOW SYSTEMS INC TRANSDUCER FOR SNAIL LAKE 602 45550 2282 001 \$800.00 \$800.00 QUALITY FLOW SYSTEMS INC SOFTWARE UPDATE ALARMS ON LIFT STATION 602 45550 3190 003 \$2,400.00 \$2,400.00 REHBEIN'S BLACK DIRT/SNOW REMO BLACK DIRT 101 42200 2180 001 \$138.00 \$138.00 RIGOH USA INC. QUARTERLY CHARGE FOR RICCH 821 101 40550 3860 004 \$60.98 \$60.98 RIVARD COMPANIES INC REC-STEP CERT PLAYGROUND MULCH 101 43710 2260 \$1,715.00 \$1,715.00 \$1,715.00	ON SITE SANITATION INC	TOILET RENTAL FOR COMMONS PARK	101	43710	3950			\$380.00	\$380.00
ON SITE SANITATION INC TOILET RENTAL FOR RICE CREEK FIELDS 101 43710 3950 \$75.00 \$75.00 ON SITE SANITATION INC TOILET RENTAL FOR SHAMROCK PARK 101 43710 3950 \$505.00 \$505.00 ON SITE SANITATION INC TOILET RENTAL FOR SITZER PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR BOBBY THEISEN PARK 101 43710 3950 \$160.00 \$160.00 ON SITE SANITATION INC TOILET RENTAL FOR WILSON PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR WILSON PARK 101 43710 3950 \$75.00 \$75.00 ON SITE SANITATION INC TOILET RENTAL FOR SNAIL LAKE SCHOOL 101 43710 3950 \$75.00 \$75.00 ON SITE SANITATION INC CLEAN TIPPED TOILET AT MCCULLOUGH PARK 101 43710 3950 \$20.00 \$20.00 OXYGEN SERVICE COMPANY WELDING SHOP SUPPLIES 701 46500 2220 003 \$89.32 \$89.32 PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$21.34 \$21.34 PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$50.88 \$50.88 PRECISION LANDSCAPE & TREE, IN TRIM STORM DAMAGE TREE AT MCCULLOUGH 101 43710 3190 \$725.00 \$725.00 QUALITY FLOW SYSTEMS INC BATTERY VOLTAGE UPS FOR LIFT STATIONS 602 45550 2282 001 \$201.75 \$201.75 QUALITY FLOW SYSTEMS INC TRANSDUCER FOR SNAIL LAKE 602 45550 2282 001 \$800.00 \$800.00 QUALITY FLOW SYSTEMS INC SOFTWARE UPDATE ALARMS ON LIFT STATION 602 45550 3190 003 \$2,400.00 \$2,400.00 REHBEIN'S BLACK DIRT/SNOW REMO BLACK DIRT 101 42200 2180 001 \$138.00 \$138.00 RICOH USA INC. QUARTERLY CHARGE FOR RICOH 821 101 40550 3860 004 \$60.98 \$60.98 RIVARD COMPANIES INC REC-STEP CERT PLAYGROUND MULCH 101 43710 2260 \$1,715.00 \$1,715.00	ON SITE SANITATION INC	TOILET RENTAL FOR LAKE JUDY PARK	101	43710	3950			\$160.00	\$160.00
ON SITE SANITATION INC TOILET RENTAL FOR SHAMROCK PARK 101 43710 3950 \$505.00 \$505.00 ON SITE SANITATION INC TOILET RENTAL FOR SITZER PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR BOBBY THEISEN PARK 101 43710 3950 \$160.00 \$160.00 ON SITE SANITATION INC TOILET RENTAL FOR WILSON PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SNAIL LAKE SCHOOL 101 43710 3950 \$75.00 \$75.00 ON SITE SANITATION INC CLEAN TIPPED TOILET AT MCCULLOUGH PARK 101 43710 3950 \$20.00 \$20.00 OXYGEN SERVICE COMPANY WELDING SHOP SUPPLIES 701 46500 2220 003 \$89.32 \$89.32 PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$21.34 \$21.34 PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$50.88 \$50.88 PRECISION LANDSCAPE & TREE, IN TRIM STORM DAMAGE TREE AT MCCULLOUGH 101 43710 3190 \$725.00 \$725.00 \$725.00 QUALITY FLOW SYSTEMS INC BATTERY VOLTAGE UPS FOR LIFT STATIONS 602 45550 2282 001 \$201.75 \$201.75 QUALITY FLOW SYSTEMS INC TRANSDUCER FOR SNAIL LAKE 602 45550 2282 001 \$800.00 \$800.00 QUALITY FLOW SYSTEMS INC SOFTWARE UPDATE ALARMS ON LIFT STATION 602 45550 3190 003 \$2,400.00 \$2,400.00 REHBEIN'S BLACK DIRT/SNOW REMO BLACK DIRT 101 42200 2180 001 \$138.00 \$138.00 RICOH USA INC. QUARTERLY CHARGE FOR RICOH 821 101 40550 3860 004 \$60.98 \$60.98 RIVARD COMPANIES INC REC-STEP CERT PLAYGROUND MULCH 101 43710 2260 \$1,715.00 \$1,715.00	ON SITE SANITATION INC	TOILET RENTAL FOR MCCULLOUGH PARK	101	43710	3950			\$250.00	\$250.00
ON SITE SANITATION INC TOILET RENTAL FOR SITZER PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR BOBBY THEISEN PARK 101 43710 3950 \$160.00 \$160.00 ON SITE SANITATION INC TOILET RENTAL FOR WILSON PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SNAIL LAKE SCHOOL 101 43710 3950 \$75.00 \$75.00 ON SITE SANITATION INC CLEAN TIPPED TOILET AT MCCULLOUGH PARK 101 43710 3950 \$20.00 \$20.00 OXYGEN SERVICE COMPANY WELDING SHOP SUPPLIES 701 46500 2220 003 \$89.32 \$89.32 PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$21.34 \$21.34 PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$50.88 \$50.88 PRECISION LANDSCAPE & TREE, IN TRIM STORM DAMAGE TREE AT MCCULLOUGH 101 43710 3190 \$725.00 \$725.00 QUALITY FLOW SYSTEMS INC BATTERY VOLTAGE UPS FOR LIFT STATIONS 602 45550 2282 001 \$201.75 \$201.75 QUALITY FLOW SYSTEMS INC TRANSDUCER FOR SNAIL LAKE 602 45550 2282 001 \$800.00 \$800.00 QUALITY FLOW SYSTEMS INC SOFTWARE UPDATE ALARMS ON LIFT STATION 602 45550 3190 003 \$2,400.00 \$2,400.00 REHBEIN'S BLACK DIRT/SNOW REMO BLACK DIRT 101 42200 2180 001 \$138.00 \$138.00 RICCH USA INC. QUARTERLY CHARGE FOR RICCH 821 101 40550 3860 004 \$60.98 \$60.98 RIVARD COMPANIES INC REC-STEP CERT PLAYGROUND MULCH 101 43710 2260 \$1,715.00 \$1,715.00	ON SITE SANITATION INC	TOILET RENTAL FOR RICE CREEK FIELDS	101	43710	3950			\$75.00	\$75.00
ON SITE SANITATION INC TOILET RENTAL FOR BOBBY THEISEN PARK 101 43710 3950 \$160.00 \$160.00 ON SITE SANITATION INC TOILET RENTAL FOR WILSON PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SNAIL LAKE SCHOOL 101 43710 3950 \$75.00 \$75.00 ON SITE SANITATION INC CLEAN TIPPED TOILET AT MCCULLOUGH PARK 101 43710 3950 \$20.00 \$20.00 OXYGEN SERVICE COMPANY WELDING SHOP SUPPLIES 701 46500 2220 003 \$89.32 \$89.32 PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$21.34 \$21.34 PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$50.88 \$50.88 PRECISION LANDSCAPE & TREE, IN TRIM STORM DAMAGE TREE AT MCCULLOUGH 101 43710 3190 \$725.00 \$725.00 QUALITY FLOW SYSTEMS INC BATTERY VOLTAGE UPS FOR LIFT STATIONS 602 45550 2282 001 \$201.75 \$201.75 QUALITY FLOW SYSTEMS INC TRANSDUCER FOR SNAIL LAKE 602 45550 2282 001 \$800.00 \$800.00 QUALITY FLOW SYSTEMS INC SOFTWARE UPDATE ALARMS ON LIFT STATION 602 45550 3190 003 \$2,400.00 \$2,400.00 REHBEIN'S BLACK DIRT/SNOW REMO BLACK DIRT 101 42200 2180 001 \$138.00 \$138.00 RICCH USA INC. QUARTERLY CHARGE FOR RICCH 821 101 40550 3860 004 \$60.98 \$60.98 RIVARD COMPANIES INC REC-STEP CERT PLAYGROUND MULCH 101 43710 2260 \$1,715.00 \$1,715.00	ON SITE SANITATION INC	TOILET RENTAL FOR SHAMROCK PARK	101	43710	3950			\$505.00	\$505.00
ON SITE SANITATION INC TOILET RENTAL FOR WILSON PARK 101 43710 3950 \$380.00 \$380.00 ON SITE SANITATION INC TOILET RENTAL FOR SNAIL LAKE SCHOOL 101 43710 3950 \$75.00 \$75.00 ON SITE SANITATION INC CLEAN TIPPED TOILET AT MCCULLOUGH PARK 101 43710 3950 \$20.00 \$20.00 OXYGEN SERVICE COMPANY WELDING SHOP SUPPLIES 701 46500 2220 003 \$89.32 \$89.32 PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$21.34 \$21.34 PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$50.88 \$50.88 PRECISION LANDSCAPE & TREE, IN TRIM STORM DAMAGE TREE AT MCCULLOUGH 101 43710 3190 \$725.00 \$725.00 QUALITY FLOW SYSTEMS INC BATTERY VOLTAGE UPS FOR LIFT STATIONS 602 45550 2282 001 \$201.75 \$201.75 QUALITY FLOW SYSTEMS INC TRANSDUCER FOR SNAIL LAKE 602 45550 2282 001 \$800.00 \$800.00 QUALITY FLOW SYSTEMS INC SOFTWARE UPDATE ALARMS ON LIFT STATION 602 45550 3190 003 \$2,400.00 \$2,400.00 REHBEIN'S BLACK DIRT/SNOW REMO BLACK DIRT 101 42200 2180 001 \$138.00 \$138.00 RICOH USA INC. QUARTERLY CHARGE FOR RICOH 821 101 40550 3860 004 \$60.98 \$60.98 RIVARD COMPANIES INC REC-STEP CERT PLAYGROUND MULCH 101 43710 2260 \$1,715.00 \$1,715.00	ON SITE SANITATION INC	TOILET RENTAL FOR SITZER PARK	101	43710	3950			\$380.00	\$380.00
ON SITE SANITATION INC TOILET RENTAL FOR SNAIL LAKE SCHOOL 101 43710 3950 \$75.00 \$75.00 ON SITE SANITATION INC CLEAN TIPPED TOILET AT MCCULLOUGH PARK 101 43710 3950 \$20.00 \$20.00 OXYGEN SERVICE COMPANY WELDING SHOP SUPPLIES 701 46500 2220 003 \$89.32 \$89.32 PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$21.34 \$21.34 PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$50.88 \$50.88 PRECISION LANDSCAPE & TREE, IN TRIM STORM DAMAGE TREE AT MCCULLOUGH 101 43710 3190 \$725.00 \$725.00 QUALITY FLOW SYSTEMS INC BATTERY VOLTAGE UPS FOR LIFT STATIONS 602 45550 2282 001 \$201.75 \$201.75 QUALITY FLOW SYSTEMS INC TRANSDUCER FOR SNAIL LAKE 602 45550 2282 001 \$800.00 \$800.00 QUALITY FLOW SYSTEMS INC SOFTWARE UPDATE ALARMS ON LIFT STATION 602 45550 3190 003 \$2,400.00 \$2,400.00 REHBEIN'S BLACK DIRT/SNOW REMO BLACK DIRT 101 42200 2180 001 \$138.00 \$138.00 RICOH USA INC. QUARTERLY CHARGE FOR RICOH 821 101 40550 3860 004 \$60.98 \$60.98 RIVARD COMPANIES INC REC-STEP CERT PLAYGROUND MULCH 101 43710 2260 \$1,715.00 \$1,715.00	ON SITE SANITATION INC	TOILET RENTAL FOR BOBBY THEISEN PARK	101	43710	3950			\$160.00	\$160.00
ON SITE SANITATION INC	ON SITE SANITATION INC	TOILET RENTAL FOR WILSON PARK	101	43710	3950			\$380.00	\$380.00
OXYGEN SERVICE COMPANY WELDING SHOP SUPPLIES 701 46500 2220 003 \$89.32 \$89.32 PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$21.34 \$21.34 PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$50.88 \$50.88 PRECISION LANDSCAPE & TREE, IN TRIM STORM DAMAGE TREE AT MCCULLOUGH 101 43710 3190 \$725.00 \$725.00 QUALITY FLOW SYSTEMS INC BATTERY VOLTAGE UPS FOR LIFT STATIONS 602 45550 2282 001 \$201.75 \$201.75 QUALITY FLOW SYSTEMS INC TRANSDUCER FOR SNAIL LAKE 602 45550 2282 001 \$800.00 \$800.00 QUALITY FLOW SYSTEMS INC SOFTWARE UPDATE ALARMS ON LIFT STATION 602 45550 3190 003 \$2,400.00 \$2,400.00 REHBEIN'S BLACK DIRT/SNOW REMO BLACK DIRT 101 42200 2180 001 \$138.00 \$138.00 RICOH USA INC. QUARTERLY CHARGE FOR RICOH 821 101 40550 3860 004 \$60.98 \$60.98 RIVARD COMPANIES INC REC-STEP CERT PLAYGROUND MULCH 101 43710 2260 \$1,715.00 \$1,715.00	ON SITE SANITATION INC	TOILET RENTAL FOR SNAIL LAKE SCHOOL	101	43710	3950			\$75.00	\$75.00
PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$21.34 \$21.34 PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$50.88 \$50.88 PRECISION LANDSCAPE & TREE, IN TRIM STORM DAMAGE TREE AT MCCULLOUGH 101 43710 3190 \$725.00 \$725.00 QUALITY FLOW SYSTEMS INC BATTERY VOLTAGE UPS FOR LIFT STATIONS 602 45550 2282 001 \$201.75 \$201.75 QUALITY FLOW SYSTEMS INC TRANSDUCER FOR SNAIL LAKE 602 45550 2282 001 \$800.00 \$800.00 QUALITY FLOW SYSTEMS INC SOFTWARE UPDATE ALARMS ON LIFT STATION 602 45550 3190 003 \$2,400.00 \$2,400.00 REHBEIN'S BLACK DIRT/SNOW REMO BLACK DIRT 101 42200 2180 001 \$138.00 \$138.00 RICOH USA INC. QUARTERLY CHARGE FOR RICOH 821 101 40550 3860 004 \$60.98 \$60.98 RIVARD COMPANIES INC REC-STEP CERT PLAYGROUND MULCH 101 43710 2260 \$1,715.00 \$1,715.00	ON SITE SANITATION INC	CLEAN TIPPED TOILET AT MCCULLOUGH PARK	101	43710	3950			\$20.00	\$20.00
PIONEER RIM & WHEEL CO. PARTS FOR MOWER TRAILER 701 46500 2220 002 \$50.88 \$50.88 PRECISION LANDSCAPE & TREE, IN TRIM STORM DAMAGE TREE AT MCCULLOUGH 101 43710 3190 \$725.00 \$725.00 QUALITY FLOW SYSTEMS INC BATTERY VOLTAGE UPS FOR LIFT STATIONS 602 45550 2282 001 \$201.75 \$201.75 QUALITY FLOW SYSTEMS INC TRANSDUCER FOR SNAIL LAKE 602 45550 2282 001 \$800.00 \$800.00 QUALITY FLOW SYSTEMS INC SOFTWARE UPDATE ALARMS ON LIFT STATION 602 45550 3190 003 \$2,400.00 \$2,400.00 REHBEIN'S BLACK DIRT/SNOW REMO BLACK DIRT 101 42200 2180 001 \$138.00 \$138.00 RICOH USA INC. QUARTERLY CHARGE FOR RICOH 821 101 40550 3860 004 \$60.98 RIVARD COMPANIES INC REC-STEP CERT PLAYGROUND MULCH 101 43710 2260 \$1,715.00 \$1,715.00	OXYGEN SERVICE COMPANY	WELDING SHOP SUPPLIES	701	46500	2220		003	\$89.32	\$89.32
PRECISION LANDSCAPE & TREE, IN QUARTERLY VOLTAGE UPS FOR LIFT STATIONS 101 43710 3190 \$725.00 \$725.00 QUALITY FLOW SYSTEMS INC BATTERY VOLTAGE UPS FOR LIFT STATIONS 602 45550 2282 001 \$201.75 \$201.75 QUALITY FLOW SYSTEMS INC TRANSDUCER FOR SNAIL LAKE 602 45550 2282 001 \$800.00 \$800.00 QUALITY FLOW SYSTEMS INC SOFTWARE UPDATE ALARMS ON LIFT STATION 602 45550 3190 003 \$2,400.00 \$2,400.00 REHBEIN'S BLACK DIRT/SNOW REMO BLACK DIRT 101 42200 2180 001 \$138.00 \$138.00 RICOH USA INC. QUARTERLY CHARGE FOR RICOH 821 101 40550 3860 004 \$60.98 \$60.98 RIVARD COMPANIES INC REC-STEP CERT PLAYGROUND MULCH 101 43710 2260 \$1,715.00 \$1,715.00	PIONEER RIM & WHEEL CO.	PARTS FOR MOWER TRAILER	701	46500	2220		002	\$21.34	\$21.34
QUALITY FLOW SYSTEMS INC BATTERY VOLTAGE UPS FOR LIFT STATIONS 602 45550 2282 001 \$201.75 \$201.75 QUALITY FLOW SYSTEMS INC TRANSDUCER FOR SNAIL LAKE 602 45550 2282 001 \$800.00 \$800.00 QUALITY FLOW SYSTEMS INC SOFTWARE UPDATE ALARMS ON LIFT STATION 602 45550 3190 003 \$2,400.00 \$2,400.00 REHBEIN'S BLACK DIRT/SNOW REMO BLACK DIRT 101 42200 2180 001 \$138.00 \$138.00 RICOH USA INC. QUARTERLY CHARGE FOR RICOH 821 101 40550 3860 004 \$60.98 \$60.98 RIVARD COMPANIES INC REC-STEP CERT PLAYGROUND MULCH 101 43710 2260 \$1,715.00 \$1,715.00	PIONEER RIM & WHEEL CO.	PARTS FOR MOWER TRAILER	701	46500	2220		002	\$50.88	\$50.88
QUALITY FLOW SYSTEMS INC TRANSDUCER FOR SNAIL LAKE 602 45550 2282 001 \$800.00 \$800.00 QUALITY FLOW SYSTEMS INC SOFTWARE UPDATE ALARMS ON LIFT STATION 602 45550 3190 003 \$2,400.00 \$2,400.00 REHBEIN'S BLACK DIRT/SNOW REMO BLACK DIRT 101 42200 2180 001 \$138.00 \$138.00 RICOH USA INC. QUARTERLY CHARGE FOR RICOH 821 101 40550 3860 004 \$60.98 \$60.98 RIVARD COMPANIES INC REC-STEP CERT PLAYGROUND MULCH 101 43710 2260 \$1,715.00 \$1,715.00	PRECISION LANDSCAPE & TREE, IN	TRIM STORM DAMAGE TREE AT MCCULLOUGH	101	43710	3190			\$725.00	\$725.00
QUALITY FLOW SYSTEMS INC SOFTWARE UPDATE ALARMS ON LIFT STATION 602 45550 3190 003 \$2,400.00 \$2,400.00 REHBEIN'S BLACK DIRT/SNOW REMO BLACK DIRT 101 42200 2180 001 \$138.00 \$138.00 RICOH USA INC. QUARTERLY CHARGE FOR RICOH 821 101 40550 3860 004 \$60.98 \$60.98 RIVARD COMPANIES INC REC-STEP CERT PLAYGROUND MULCH 101 43710 2260 \$1,715.00 \$1,715.00	QUALITY FLOW SYSTEMS INC	BATTERY VOLTAGE UPS FOR LIFT STATIONS	602	45550	2282		001	\$201.75	\$201.75
REHBEIN'S BLACK DIRT/SNOW REMO BLACK DIRT 101 42200 2180 001 \$138.00 \$138.00 RICOH USA INC. QUARTERLY CHARGE FOR RICOH 821 101 40550 3860 004 \$60.98 \$60.98 RIVARD COMPANIES INC REC-STEP CERT PLAYGROUND MULCH 101 43710 2260 \$1,715.00 \$1,715.00	QUALITY FLOW SYSTEMS INC	TRANSDUCER FOR SNAIL LAKE	602	45550	2282		001	\$800.00	\$800.00
RICOH USA INC. QUARTERLY CHARGE FOR RICOH 821 101 40550 3860 004 \$60.98 \$60.98 RIVARD COMPANIES INC REC-STEP CERT PLAYGROUND MULCH 101 43710 2260 \$1,715.00 \$1,715.00	QUALITY FLOW SYSTEMS INC	SOFTWARE UPDATE ALARMS ON LIFT STATION	602	45550	3190		003	\$2,400.00	\$2,400.00
RIVARD COMPANIES INC REC-STEP CERT PLAYGROUND MULCH 101 43710 2260 \$1,715.00 \$1,715.00	REHBEIN'S BLACK DIRT/SNOW REMO	BLACK DIRT	101	42200	2180		001	\$138.00	
AWA MO	RICOH USA INC.	QUARTERLY CHARGE FOR RICOH 821	101	40550	3860		004	\$60.98	
SUPPLYWORKS VACUUM FOR CHILDCARE ROOM 220 43800 2400 \$342.30	RIVARD COMPANIES INC	REC-STEP CERT PLAYGROUND MULCH	101	43710	2260			\$1,715.00	\$1,715.00
	SUPPLYWORKS	VACUUM FOR CHILDCARE ROOM	220	43800	2400	1		\$342.30	

COUNCIL REPORT

Vendor Name	Description	FF	GG	00	AA	СС	Line Amount	Invoice Amt
SUPPLYWORKS	HAND CLEANER	 701	46500	2220		003	\$170.23	\$170.23
ULINE CORPORATION	PRESS ON VINYL ENVELOPES/LESS TAX/IAN	701	46500	2220		003	\$80.27	\$80.27
UNIFIRST CORPORATION	UNIFORM RENTAL	101	42200	3970		001	\$39.56	\$158.26
		601	45050	3970		001	\$39.56	
		602	45550	3970		001	\$39.56	
		603	45850	3970		001	\$19.79	
		701	46500	3970		001	\$19.79	
UNIFIRST CORPORATION	UNIFORM RENTAL FOR PARK MAINT	101	43710	3970			\$61.00	
UNIFIRST CORPORATION	UNIFORM RENTAL/CC	220	43800	3970			\$53.16	\$53.16
UNIFIRST CORPORATION	UNIFORM RENTAL PARKS	101	43710	3970			\$68.84	\$68.84
UNIFIRST CORPORATION	UNIFORM RENTAL FOR COMM CNTR MAINT	220	43800	3970			\$60.11	\$60.11
UNIFIRST CORPORATION	UNIFORM RENTAL	101	42200	3970		001	\$40.91	\$163.66
		601	45050	3970		001	\$40.91	
		602	45550	3970		001	\$40.91	
•		603	45850	3970		001	\$20.46	
		701	46500	3970		001	\$20.47	
UNIFIRST CORPORATION	UNIFORM RENTAL PARKS	101	43710	3970			\$68.84	\$68.84
VALLEY-RICH CO, INC	DIG AT 5291 HODGSON	601	45050	3190		004	\$9,684.51	\$9,684.51
WSB & ASSOCIATES, INC.	TURTLE LN CP15-01 ENG SERVICES	577	47000	5910			\$1,132.00	\$1,132.00
YALE MECHANICAL INC	REPAIRS TO SERVER ROOM COOLING UNIT	220	43800	3810		001	\$1,976.95	\$1,976.95
YALE MECHANICAL INC	ADD AC UNIT TO PAVILION	401	43800	5300			\$8,475.00	\$8,475.00
				т	otal	of s	all invoices:	\$/39 139 //7

Total of all invoices: \$439,139.47

========

City of Shoreview 4600 Victoria Street North Shoreview MN 55126

Voucher Number	50,959	Please return check to Glen
Vendor number	00311 1	2015
Vendor name	C W HOULE INC.	
Address	1300 COUNTY ROAD I WEST ST. PAUL MN 55126	

Date	Comment line on check	Invoice number	Amount
08-19-15	LEX / CO RD F WM CP15-06 PAYMENT NO3	1	\$83,973.09

THIS IS AN EARLY CHECK, PLACE VOUCHER IN EARLY CHECK FILE

This Purchase Voucher is more than \$25,000.00; was the state's cooperative venture considered before purchasing through another source?

- [] Purchase was made through the state's cooperative purchasing venture.
- [] Purchase was made through another source. The state's cooperative purchasing venture was considered.
- [X] Cooperative purchasing venture consideration requirement does not apply.

Return to:	Glen					
Account Coding Amount						
455 47000 5900	\$83,973.09					

Is sales tax included on invoice?	Not Taxable						
If no, amount subject to sales use tax	\$						
Reviewed by: (signature required) Glen Hoffard							
Approved by: (signature required) Terry Schwerm							

Quote 1		
Quote 2	speciod and	7/31/15
Explanation if no quote received		

City of Shoreview 4600 Victoria Street North Shoreview MN 55126

Voucher Number	50,901	,]
Vendor number	01308 1 2015	ļ
Vendor name	MINNESOTA METRO NORTH TOURISM	
	CITY OF BLAINE	
Address	FINANCE DEPARTMENT	
	10801 TOWN SQUARE DRIVE	
	BLAINE, MN 55449	

Date	Comment line on check	Invoice number	Amount
08-13-15	JULY 2015 HOTEL/MOTEL TAX	JULY 2015	\$26,683.42

		THIS IS AN EARLY CHECK, PLACE VOUCHER IN EARLY CHECK FIL
	A A A A A A A A A A A A A A A A A A A	Return to:
5	Purchase Voucher is more than	Account Coding Amount
,	was the state's	101 22079 \$28,087.81
1		
1		101 38420 -\$1,404.39
l .		
'		
	0. <u>Cl</u>	
	0 A77 A0 W	
1	6,477,10 ±	
	11-361-98 出	
	148.73 🗓	·
	· 987.81 III	
ı		
	. 8. du 81 🗵	
	·5.00 图	Is pales tax included on invoice? Not Taxable
	1-404-39 *	If no, amount subject to sales use tax \$
	26,683,42 🖽 🖊	Reviewed by: What Walouer
		Reviewed by: (signature required) Deborah Maloney
		Approved by: (signature required) Terry Schwerm

Quote 1	
Quote 2	
Explanation if no quote received	

Purchase Voucher
City of Shoreview
4600 Victoria Street North Shoreview MN 55126



Vendor number	10206 1
Vendor name	XCEL ENERGY
Address	PO BOX 9477 MINNEAPOLIS MN 55484-9477

THIS IS AN EARLY CHECK, PLACE VOUCHER IN EARLY CHECK FILE Return to:

Voucher	Date	Comment line on check	Invoice number	Account coding	Amount
50,914	08-11-15	COMMUNITY CENTER: ELECTRIC/GAS	5148429483	220 43800 2140	2,701.91
				220 43800 3610	23,346.11
				VOUCHER TOTAL:	\$26,048.02
50,917	08-12-15	TRAFFIC SIGNALS: BLECTRIC	5162326923	101 42200 3610	\$603.34
50,910	08-10-15	STORM SEWER LIFT STATIONS: ELECTRIC	5172997607	603 45850 4890 003	\$186.28
50,900	08-12-15	SLICE OF SHOREVIEW: ELECTRIC	5168772674	270 40250 3610	\$136.59
50,915	08-10-15	SURFACE WATER: BLECTRIC	5141595140	603 45900 3610	\$97.94
50,916	08-13-15	WATER TOWERS: ELECTRIC	5168285301	601 45050 3610	\$57.01
50,799	08-12-15	TRAFFIC SIGNAL SHARED W/ARDEN HILLS:ELEC	5155611264	101 42200 3610	\$48.86
				Total:	\$27,178.04

Is sales tak included on invoice?	(No): Taxable
If no, amount subject to sales use tax	\$
Reviewed by: WALLEY (signature required) Debbie Engblom	
Approved by: (signature required) Terry Schwerm	

City of Shoreview 4600 Victoria Street North Shoreview MN 55126

Voucher Number	50,840
Vendor number	00815 1 2015
Vendor name	DAYSPRING PRODUCTIONS INC
Address	DBA AUDIO VISUAL ELECTRONICS 10900 73RD AVE N STE 124 MAPLE GROVE MN 55369

Date	Comment line on check Invoice number	Amount
08-13-15	50% DOWNPAYMENT-BANQUET ROOM & CC CAMERA 3096	\$28,676.00

This Purchase Voucher is more than \$25,000.00; was the state's cooperative venture considered before purchasing through another source?

- [] Purchase was made through the state's cooperative purchasing venture.
- [] Purchase was made through another source. The state's cooperative purchasing venture was considered.
- [X] Cooperative purchasing venture consideration requirement does not apply.

Early Check

Account Coding	Amount
230 40900 3190	\$28,676.00
	·

is sales tax includ	ed on invoice?	Not Taxable
If no, amount subje	ct to sales use tax	\$
Reviewed by: (signature required)	Terri Hoffard	and
Approved by: (signature required)	Terry Schwerm	<u>/</u>

Quote 1			
Quote 2	WINDHIGHA	are attached	_/
Explanation if no quote received	' '		

City of Shoreview 4600 Victoria Street North Shoreview MN 55126

Voucher Number	51,097	 RETURN	CHECK	TO	TOM H
Vendor number	00544 1	 			2015
Vendor name	PEARSON BROS INC				- \$
Address	11079 LAMONT AVENUE NE HANOVER, MN 55341-4063				

Date	Comment line on check	Invoice number	Amount	
08-13-15	PMT 1 2015 SEAL COAT PROJ 15-05	1-15-05	\$265,385.68	1

THIS IS AN EARLY CHECK, PLACE VOUCHER IN EARLY CHECK FILE

Return to:

This Purchase Voucher is more than \$25,000.00; was the state's cooperative venture considered before purchasing through another source?

- [] Purchase was made through the state's cooperative purchasing venture.
- [] Purchase was made through another source. The state's cooperative purchasing venture was considered.
- [X] Cooperative purchasing venture consideration requirement does not apply.

Account Coding	Amount
404 42200 3190	\$265,385.68
	·

Is sales tax includ	ed on invoice?	Not Taxable
If no, amount subje	ct to sales use tax	\$
Reviewed by: (signature required)	Tom Jomes E	8/27/15
Approved by: (signature required)	Terry Schwerm	

Quote 1	
Quote 2	
Explanation if no quote received	

City of Shoreview 4600 Victoria Street North Shoreview MN 55126

Voucher Number	51,237	
Vendor number	01763 1	015
Vendor name	LAKEVIEW TERRACE LLC	P
Address	ATTN: MR MAX SEGLER 321 UNIVERSITY AVENUE SE MINNEAPOLIS MN 55414	

Date	Comment line on check			Amount
09-03-15	TIF NOTE PAYMENT FIRST HA	LF	9/3/15	\$57,562.12

THIS IS AN EARLY CHECK, PLACE VOUCHER IN EARLY CHECK FILE

This Purchase Voucher is more than \$25,000.00; was the state's cooperative venture considered before purchasing through another source?

- [] Purchase was made through the state's cooperative purchasing venture.
- [] Purchase was made through another source. The state's cooperative purchasing venture was considered.
- [X] Cooperative purchasing venture consideration requirement does not apply.

	Return to:	
2	Account Coding	Amount
	408 48600 6020	\$57,562.12
	AAAA LAA	
RECOF	100	

Is sales tax included on invoice?	Not	Taxable
If no, amount subject to sales use tax	\$\$	
Reviewed by: (signature required) Fred Espe		<u> </u>
Approved by: (signature required) Terry Schwerm		<u>/</u>

Quote 1	
Quote 2	
Explanation if no quote received	

City of Shoreview 4600 Victoria Street North Shoreview MN 55126

Voucher Number	51,173	
Vendor number	01901 1	2015
Vendor name	REPUBLIC SERVICES INC #899	. 7
	PO BOX 9001154	
Address	LOUISVILLE, KY 40290-1154	

Date	Comment line on check	Invoice number	Amount
08-25-15	INCLUDES PAST DUE BALANCE	0899-002721201	\$64,473.56

THIS IS AN EARLY CHECK, PLACE VOUCHER IN EARLY CHECK FILE

This Purchase Voucher is more than \$25,000.00; was the state's cooperative venture considered before purchasing through another source?

- [] Purchase was made through the state's cooperative purchasing venture.
- [] Purchase was made through another source. The state's cooperative purchasing venture was considered.
- [X] Cooperative purchasing venture consideration requirement does not apply.

Amount
\$64,473.56

Is sales tax includ	ed on invoice?	Not Taxable
If no, amount subje	ct to sales use tax	\$
Reviewed by: (signature required) Approved by: (signature required)	In	11/15

Quote 1	
Quote 2	
Explanation if no quote received	

City of Shoreview 4600 Victoria Street North Shoreview MN 55126

Voucher Number		
Vendor number		2015
	BRIN NORTHWESTERN GLASS CO. INC	
Address	2300 N SECOND STREET MINNEAPOLIS MN 55411	

1	Comment line	e on cl	ieck				Invoice number	Amount.
Г	REPLACEMENT			UPPER	LEVEL	CC	5290228	\$31,625.00

This Purchase Voucher is more than \$25,000.00; was the state's cooperative venture considered before purchasing through another source?

- [] Purchase was made through the state's cooperative purchasing venture.
- [X] Purchase was made through another source. The state's cooperative purchasing venture was considered.
- [] Cooperative purchasing venture consideration requirement does not apply.

attanked.

Account Coding	Amount
405 43800 3810	\$31,625.00

Is sales tax included on invoice?	Not Taxable
If no, amount subject to sales use tax	\$
Reviewed by: (signature required) Gary Chapman	
Approved by: (signature required) Terry Schwerm	

Quote 1	BRIN NORTHWESTERN GLASS	\$ 31,625.00
Quote 2	UNITED GLASS	\$132, 250,00
Explanation if no quote received		•

City of Shoreview 4600 Victoria Street North Shoreview MN 55126

Voucher Number	51,118	┨ .
	01439 1	L.
	LEE SPORTS SURFACING	
Address	3027 EDGERTON STREET LITTLE CANADA, MN 55117	

	Comment line on check	Invoice number	Amount
Date	SHAMROCK PARK TENNIS COURT REPAIRS	1727	\$51,325.00
07-25-15	SHAMROCK PARK TENNIS COURT REPAIRS	<u> La companya da managan da manag</u>	

This Purchase Voucher is more than \$25,000.00; was the state's cooperative venture considered before purchasing through another source?

- [] Purchase was made through the state's cooperative purchasing venture.
- [X] Purchase was made through another source. The state's cooperative purchasing venture was considered.
- [] Cooperative purchasing venture consideration requirement does not apply.

Account	Coaing	Milouite
405 43	710 3810	\$51,

405 43710 3810	\$51,325.00
	·
	·

Is sales tax included on invoice?	Not	Taxable
If no, amount subject to sales use tax	\$	
Reviewed by: (signature required) Gary Chapman Approved by: (signature required) Terry Schwerm)	

1	If no quote is received, expl	lain below:
Quote 1 110000	LEE SPORTS SURFACING	\$ 40, 115,00 \$
Quote/2 WWW	FINELY BROS	\$ 41,400:00
/ Jr ma myota received X	ONCE PEELING SURFACE WAS	REMOVED 590 ADDITIONA
	CRACKS WERE FOUND BRINGING	NG TOTAL TO 51,325.00

City of Shoreview 4600 Victoria Street North Shoreview MN 55126

Voucher Number	51,119	
Vendor number	01439 1	2015
Vendor name	LEE SPORTS SURFACING	
Address	3027 EDGERTON STREET LITTLE CANADA, MN 55117	

Date	Comment line on check	Invoice number	Amount
07-25-15	MCCULLOUGH PARK TENNIS COURT REPAIRS	1728	\$36,200.00

This Purchase Voucher is more than \$25,000.00; was the state's cooperative venture considered before purchasing through another source?

- [] Purchase was made through the state's Cooperative purchasing venture.
- [X] Purchase was made through another source. The state's cooperative purchasing venture was considered.
- [] Cooperative purchasing venture consideration requirement does not apply.

Account	Coding	Amount

405 43710 3810	\$36,200.00
	4
	·

Is sales tax included on invoice?	Not Taxable
If no, amount subject to sales use tax	\$
Reviewed by:	2 1
(signature required) Gary Chapman	
Approved by: (signature required) Terry Schwerm	

,	~ H0	AN 0 M	Two quotes must be attact for all purchases between If no quote is received,	n \$10,000 and \$	
1	Quote DV		LEE SPORTS SURFACING	# 36	,200,00
	Quote 2		FINELY BROS.	# 36	720,00
	Explanation	if no quote received		/	

City of Shoreview
4600 Victoria Street North
Shoreview MN 55126



Vendor number		Council approved on January 5, 2015
Vendor name		
Address	2195 W COUNTY ROAD C2	
Address	PO BOX 130820 ROSEVILLE MN 55113	

Voucher	Date	Comment line on check	Invoice number	Account coding	Amount
50,997	08-19-15	NEW UNIT 610 MACK DUMP TRUCK	9378	701 46500 5800	\$104,112.89
50,996	08-19-15	NEW UNIT 610 MACK DUMP TRUCK	9379	701 46500 5800	\$100,656.96
				,	
,					
				·	
				•	
				Total:	\$204,769.85

Is sales tax included on invoice?	Included
If no, amount subject to sales use tax	\$
Reviewed by: (signature required) Dan curley Approved by: (signature required) Terry Schwerm	m)n

LICENSE APPLICATIONS

Moved by Counci	lmember			
Seconded by Cour	ncilmember			
To approve the Li dated September (ions as liste	d on the attached rep	ort
ROLL CALL:	AYES		NAYS	
Johnson				
Quigley				
Wickstrom				
Springhorn				· ·
Martin				

September 08, 2015 Regular Council Meeting

CITY OF SHOREVIEW - LICENSE APPLICATIONS September 08, 2015

LICENSE #	BUSINESS NAME	ТҮРЕ
2015-00046	Frontier Tree Service	Tree Trimmer
2015-00047	Family Tree Service	Tree Trimmer

License/Permit Clerk

PROPOSED MOTION

MOVED BY COUNCIL.	MEMBER		
SECONDED BY COUN	CILMEMBER _	C 3 2 0 0 1 0 0 0 1 0 0 0 1 0 0 0 1 0 0 0 1 0 0 0 1 0 0 0 0 1 0	
to approve Resolution No	. 15-79 reducing	the following	g escrows:
Erosion Control and Deve in the amounts listed:	elopment Cash D	eposits for the	e following properti
3300 Owasso Heights 5101 Alameda St	Rd Winco Lar Kevin Ous	~	\$ 500.00 \$ 3,000.00
	ROLL CALL:	AYES	_NAYS
	JOHNSON	<u></u>	
	QUIGLEY	#MANAGER STOLE STANDARD	
	SPRINGHORN		
	WICKSTROM	######################################	

MARTIN

REGULAR COUNCIL MEETING SEPTEMBER 8, 2015 t:/development/erosion_general/erosion090815

TO:

MAYOR, CITY COUNCIL, CITY MANAGER

FROM:

THOMAS L. HAMMITT

SENIOR ENGINEERING TECHNICIAN

DATE:

SEPTEMBER 3, 2015

SUBJECT:

DEVELOPER ESCROW REDUCTIONS

INTRODUCTION

The following escrow reductions have been prepared and are presented to the City Council for approval.

BACKGROUND

The property owners/builders listed below have completed all or portions of the erosion control and turf establishment, landscaping or other construction in the right of way as required in the development contracts or building permits.

3300 Owasso Heights Rd

Erosion Control completed

5101 Alameda St

Erosion & Grading Cert completed

RECOMMENDATION

It is recommended that the City Council approve releasing all or portions of the escrows for the following properties in the amounts listed below:

3300 Owasso Heights Rd

Winco Landscape

\$ 500.00

5101 Alameda St

Kevin Ousdigian

\$3,000.00

PROPOSED

EXTRACT OF MINUTES OF MEETING OF THE

CITY COUNCIL OF SHOREVIEW, MINNESOTA

HELD SEPTEMBER 8, 2015

Pursuant to due call and notice thereof, a meeting of the City Council of the City of Shoreview, Minnesota was duly called and held at the Shoreview City Hall in said City on

September 8, 2015 at 7:00 p.m. The following members were present:

and the following members were absent:

Member

introduced the following resolution and moved its adoption.

RESOLUTION NO. 15-79

RESOLUTION ORDERING ESCROW REDUCTIONS AT VARIOUS LOCATIONS IN THE CITY

WHEREAS, various builders and developers have submitted cash escrows for erosion control, grading certificates, landscaping and other improvements, and

WHEREAS, City staff have reviewed the sites and developments and is recommending the escrows be returned.

NOW, THEREFORE, BE IT RESOLVED by the City Council of Shoreview, Minnesota, as follows:

The Shoreview Finance Department is authorized to reduce the cash deposit in the amounts listed below:

3300 Owasso Heights Rd Winco Landscape \$ 500.00 5101 Alameda St Kevin Ousdigian \$ 3,000.00

The motion for the adoption of the foregoing resolution was duly seconded by Member and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

WHEREUPON, said resolution was declared duly passed and adopted this 8th day of September, 2015.

RESOLUTION NO. 15-79 PAGE TWO

STATE OF MINNESOTA)
COUNTY OF RAMSEY)
CITY OF SHOREVIEW)

I, the undersigned, being the duly qualified and acting Manager of the City of Shoreview of Ramsey County, Minnesota, do hereby certify that I have carefully compared the attached and foregoing extract of minutes of a meeting of said City Council held on the 8th day of September, 2015 with the original thereof on file in my office and the same is a full, true and complete transcript therefrom insofar as the same relates reducing various escrows.

WITNESS MY HAND officially as such Manager and the corporate seal of the City of Shoreview, Minnesota, this 9th day of September, 2015.

Terry C. Schwerm City Manager

SEAL

PROPOSED MOTION

MOVED BY COUNCILMEMBER				
SECONDED BY COUNCILMEMBER				
To approve Resolution 15-76 accep and expressing appreciation to AAF			ARP Tax Aide	
ROLL CALL:	AYES	NAYS	S	
JOH	HNSON			
QU	IGLEY			
SPI	RINGHORN			
WIG	CKSTROM			
MA	RTIN			

Regular City Council Meeting September 8, 2015 TO:

MAYOR AND COUNCILMEMBERS

FROM:

STEPHANIE SCHUTTA

RECREATION PROGRAM COORDINATOR

DATE:

AUGUST 31, 2015

SUBJECT:

ACCEPTANCE OF AND APPRECIATION FOR DONATION OF

HOSTING AARP TAX AIDE

INTRODUCTION

The City of Shoreview may accept gifts for the benefit of its citizens in accordance with the terms prescribed by the donor. Minnesota Statute 465.03 requires that the City Council accept these gifts by resolution.

BACKGROUND

The Shoreview Community Center has been a host site for AARP Tax Aide during tax season. AARP Tax Aide volunteers provide free tax assistance to seniors and low income taxpayers. Shoreview Parks and Recreation takes reservations for tax assistance appointments and each year the appointments fill up before February. We are able to assist over 300 taxpayers in filing their taxes.

ACCEPTANCE OF GIFTS/DONATIONS

AARP Foundation received a grant from the State which includes funds for appreciation and support for AARP hosts during the tax season. The funds of \$250.00 were awarded to the Community Center to use as we see fit.

RECOMMENDATION

Staff recommends that the City Council adopt Resolution 15-76 accepting a donation for hosting AARP Tax Aide and expressing appreciation to AARP Foundation for the donation.

EXTRACT OF MINUTES OF MEETING OF THE CITY COUNCIL OF SHOREVIEW, MINNESOTA HELD SEPTEMBER 8, 2015

Pursuant to due call and notice thereof, a meeting of the City Council of the City of Shoreview, Minnesota was duly called and held at the Shoreview City Hall in said City on September 8, 2015, at 7:00 p.m.

The following members were present:

And the following members were absent:

Member

introduced the following resolution and moved its adoption.

RESOLUTION NO. 15-76

A RESOLUTION EXPRESSING ACCEPTANCE OF AND APPRECIATION FOR THE DONATION FROM AARP FOUNDATION

WHEREAS, the City of Shoreview has received a donation of \$250.00 from AARP Foundation for being a host site for tax aide during the tax season; and

WHEREAS, the City Council is appreciative of the donation.

NOW, THEREFORE, BE IT RESOLVED, the City Council of the City of Shoreview, acknowledges and accepts the donation of \$250.00 with gratitude.

The motion of the foregoing resolution was duly seconded by Member vote being taken thereon, the following voted in favor thereof:

and upon a

And the following voted against the same:

WHEREUPON, said resolution was declared duly passed and adopted the 8th day of September, 2015.

STATE OF MINNESOTA)

COUNTY OF RAMSEY)

CITY OF SHOREVIEW)

I, the undersigned, being the duly qualified City Manager of the City of Shoreview of Ramsey County, Minnesota, do hereby certify that I have carefully compared the attached and foregoing extract of minutes of a meeting of said City Council on the 8th day of September, 2015, with the original thereof on file in my office and the same is full, true and complete transcript therefrom insofar as the same relates to the acceptance of and appreciation to AARP Foundation for the donation of \$250.00.

WITNESS MY HAND officially as such City Manager and the corporate seal of the City of Shoreview, Minnesota this 9th day of September, 2015.

Terry C. Schwerm, City Manager



August 24, 2015

Ms. Stephanie Schutta

Shoreview Community Center

4580 Victoria St. North

Shoreview MN 55126

Dear Stephanie:

We have received a grant from the State which includes funds for appreciation and support for our hosts during the tax season, particularly those which take reservations. As a result, I am enclosing a check for \$250 which the Center may use as appropriate. I cannot guarantee the same grant will be available for the coming season, but we are requesting continued dollars for the program.

Tom Leiser

10m

District Coordinator

MOTION TO APPROVE A CONDITIONAL USE PERMIT 3680 N. KENT ST / 0 N. KENT ST

MOVED BY COUNCIL MEMBER: _		
SECONDED BY COUNCIL MEMBER	R:	

To adopt Resolution 15-75 approving the Conditional Use Permit request submitted by Gary Boryczka for contractor's/outdoor storage on the property at 3680 N. Kent St / 0 N Kent St. Said approval is subject to the following:

- 1. The two parcels must be combined within 1 year of approval of the Conditional Use Permit or prior to any sale.
- 2. The project must be completed in accordance with the plans submitted with the applications. Outdoor storage area shall be enclosed with fencing and screened as indicated in the approved plan. Vegetation that dies shall be replaced in accordance with the City's landscaping requirements. Fencing may be required on the South lot if vegetation fails to provide adequate year round screening.
- 3. Use of the outdoor storage area is limited to the materials and equipment related to the business. Trucks used as storage containers are prohibited.
- 4. The outside storage area containing equipment shall be secured to prevent unauthorized entry.
- 5. There shall be no storage of hazardous materials within the outside storage area.

Approval is based on the following findings.

- 1. The property is zoned I, Industrial in which outdoor storage is permitted as a conditional use.
- 2. The land use complies with the designated land use of the Comprehensive Plan and the proposed outdoor storage use will not impede the future redevelopment of this area.
- 3. The outdoor storage area complies with the standards of Section 205.050 (D)(7).

ROLL CALL:	AYES	NAYS _	
Johnson	: <u> </u>		
Quigley			,
Springhorn			
Wickstrom			
Martin	·		
Regular City Co	uncil Meeting	g	
September 8, 201	.5	era en	

TO:

Mayor, City Council and City Manager

FROM:

Niki Hill, Economic Development and Planning Associate

DATE:

September 4, 2015

SUBJECT:

File No. 2587-15-30, Conditional Use Permit, Gary Boryczka, 3680 N.

Kent Rd and 0 N. Kent Rd

INTRODUCTION AND BACKGROUND

Gary Boryczka is a commercial general contractor and requires outside storage for materials and equipment, therefore, he is requesting a conditional use permit to establish a legal conforming outside storage yard on the two properties at 3680 N. Kent Street and 0 N. Kent Rd. This storage area is currently located to the South of the existing building and enclosed with fencing, along with vegetative screen. The property is zoned Industrial and in this district outside storage areas require a Conditional Use Permit.

The building at 3680 N. Kent Rd was built in 1961 as a contractor's storage building and the associate property was used for that purpose as well. Mr. Boryczka purchased the property in 1977 and has continued to use the property in the same way since then. Mr. Boryczka previously received a special use permit for the storage of flammable gases in tanks. This permit included screening requirements for the area. It should be noted that at the time it was not necessary for a permit for the exterior storage of materials as it was allowed under Ordinance #302. The ordinance read:

Section 210.030. Accessory Uses in B-1, B-2 and B-3 Business Districts and Industrial Districts.

- (A) Essential services.
- (B) Fences.
- (C) Incidental repair, processing and storage necessary to conduct a permanent principal use but not exceeding thirty (30) percent of the floor space of the principal building.
- (D) Off street parking.
- (E) Transportation terminal.

The tanks have since been removed from the property and only exterior storage remains. Mr. Boryczka had rented the property at 0 Kent Street for 10 years prior to purchasing it in 2001. It has been used for outdoor storage for the duration of Mr. Boryzcka's use of it.

The current application was complete as of August 7, 2015.

PROJECT DESCRIPTION

The two properties are located on the corner of Kent Street and Shoreview Park Road, north of County Road E, together they are approximately 1.8 acres in size. The property at 3680 Kent street is developed with a single-story 6,000 square foot office/warehouse industrial building, surface parking, and large storage area. There is a fence that encloses

a portion of the storage yard area. The surrounding land uses are also industrial and some properties do have outside storage.

Gary Boryczka is a general contractor and owns his own company called Gary Contracting. He is proposing to continue to utilize the rear portion of the property for outside storage of materials such as crushed rock, dirt, and sand. The current fenced in portion is where the equipment and materials are kept.

DEVELOPMENT CODE

In the Industrial Zoning District, outside storage areas are permitted with a conditional use permit. Section 203.032 Conditional Use Permit (Non-Floodplain) states that certain land uses are designated as a conditional use because they may not be suitable in a particular zoning district unless conditions are attached. In those circumstances, conditions may be imposed to protect the health, safety and welfare and to insure harmony with the Comprehensive Plan.

The approval of a conditional use permit requires the City Council to find that the use complies with the following criteria.

- (1) The use is in harmony with the general purposes and intent of the Development Ordinance.
- (2) The use is in harmony with the policies of the Comprehensive Guide Plan.
- (3) Certain conditions as detailed in the Development Ordinance exist.
- (4) The structure and/or land use conform to the Land Use Chapter of the Comprehensive Guide Plan and are compatible with the existing neighborhood.

Outside storage areas must also comply with standards outlined in Section 205.050 (D)(7) which is attached.

STAFF REVIEW

The staff reviewed the permit application and found that the proposal complies with the conditional use permit criteria and the standards of the Development Code. The outdoor storage area is enclosed with a fence and gate, and the additional storage area is screened with vegetation so that it cannot be viewed from adjacent properties, Kent St. or Shoreview Park Road. Access to the storage area will primarily occur during their normal business hours.

Mr. Boryczka has indicated that he may sell the property in the future. The future tenant use of the outside storage area would need to comply with the terms of the Conditional Use Permit.

In accordance with the Comprehensive Plan, the property is guided as LT-I, Light Industrial and is located in Policy Development Area #17, and Targeted Redevelopment

Area #3. Policies in both the PDA #17 ant TRA#3 address the future redevelopment of this area, including the Deluxe Campus, acquisition and financing, and property consolidation. The use of this facility as proposed with outdoor storage is consistent with the light industrial land use designation and will not impede any future redevelopment of the area.

REQUEST FOR COMMENT

Property owners within 350 feet were notified of the applicant's request. No comments have been received.

PLANNING COMMISSION REVIEW

The Planning Commission held a public hearing and reviewed the Conditional Use Permit at their meeting on August 25th. The Commission concluded that the proposal was reasonable and consistent with the Comprehensive Plan and Development Code and recommended approval to the City Council with a 7 to 0 vote.

RECOMMENDATION

Staff has reviewed the application and found that the proposed Conditional Use Permit request meets the requirements of the Development Ordinance and policies of the Comprehensive Plan. Therefore, staff recommends the City Council adopt Resolution 15-75, approving the conditional use permit, subject to the following conditions:

- 1. The two parcels must be combined within 1 year of approval of the Conditional Use Permit or prior to any sale.
- 2. The project must be completed in accordance with the plans submitted with the applications. Outdoor storage area shall be enclosed with fencing and screened as indicated in the approved plan. Vegetation that dies shall be replaced in accordance with the City's landscaping requirements. Fencing may be required on the South lot if vegetation fails to provide adequate year round screening.
- 3. Use of the outdoor storage area is limited to the materials and equipment related to the business. Trucks used as storage containers are prohibited.
- 4. The outside storage area containing equipment shall be secured to prevent unauthorized entry.
- 5. There shall be no storage of hazardous materials within the outside storage area.

Attachments:

- 1. Aerial Map
- 2. Applicant's Statement and Submitted Plans
- 3. Comments received
- 4. Section 205.050(D)
- 5. Resolution 15-75
- 6. Motion Sheet





1:2,400

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION

400.0 Feet

200,00

NAD_1983_HARN_AdI_MN_Ramsey_Feet © Ramsey County Enterprise GIS

400.0



August 5, 2015

Attn: City of Shoreview, MN

RE: Intended Use of Property at 3680 and "0" Kent Street

Parcel A was built in 1961 as a contractor's storage building and property. I purchased the property in 1977 and continue to use it as a contractor's storage yard to this day. Parcel B I rented for approximately 10 years. I purchased the "0" Kent in 2001 and have used it for outside storage to the present.

My intent is to have the properties meet current city standards.

Screening: In 1983 under a different permit it was suggested that natural trees would be the best practice for screening. Over the years I have let the trees grow to provide a natural screen.

Fencing: 3680 Kent property is completely fenced and equipment and valuable materials are kept in the fenced area. "0" Kent St. has fencing on the East property line. The South property line is 10 feet north of my neighbor's building. I never fenced that side figuring it would hamper his parking and snow storage. Also, there is a large ravine on my South property line that is impassable and felt no fence was needed.

Lighting: 3680 Kent has lighting on the West, South and East sides of the building. There is street lighting on Kent and Shoreview Park Road.

Drainage: The water flows to the West and South. The West drains into a green area and then to storm drain. The South drains to ravine and then to storm drain.

Green Area: West and North of the building is a large grass area that is maintained by mowing.

Sincerely,

Gary Boryczka,

Property Owner

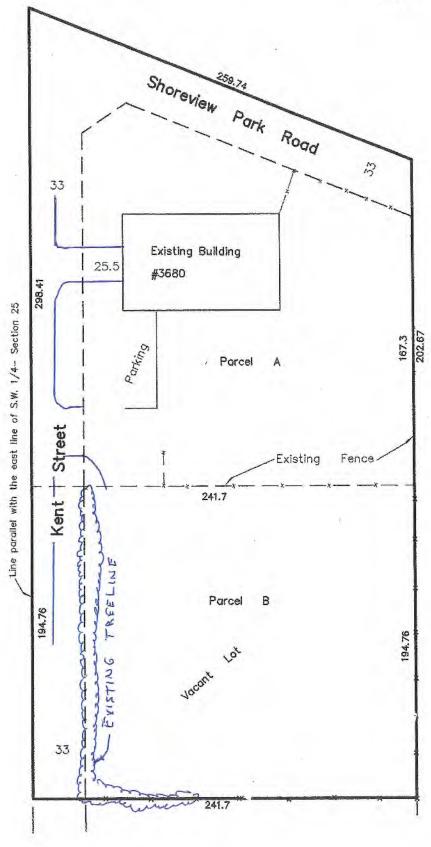






Property Exhibit

For: Gary Contracting-- 3680 Kent Street



Parcel A Description

That part of the Southwest Quarter of the Southwest Quarter of Section 25, Township 30, Range 23, Ramsey County Minnnesota lying westerly of the easterly 648.4 feet of said Southwest Quarter of Southwest Quarter and bounded on the South, North, and West by the following described line: Commencing at a point on the northerly right—of—way line of County Road "E", distant 428.03 feet east of the west line of Section 25; thence on an assumed bearing of North parallel to the east line of said Southwest Quarter of Southwest Quarter a distance of 604.39 feet; thence North 89 degrees, 52 minutes, 10 seconds East 241.7 feet to the point of beginning of the line to be described; thence South 89 degrees, 52 minutes, 10 seconds West 241.7 feet; thence North 298.41 feet; thence South 68 degrees, 31 minutes, 16 seconds East 259.73 feet and there terminating. Subject to a road easement over the westerly and northerly 33 feet thereof.

Parcel B Description

The north 194.76 feet of the north 350 feet of the south 604.39 feet of the Southwest Quarter of the Southwest Quarter of Section 25, Township 30, Range 23, Ramsey County Minnesota, lying north of County Road "E", except the west 428.03 feet and except the east 648.4 feet thereof.

Subject to a road easement over the west 33 feet thereof.

Dated this 37 day of July 2015 – By: M. T. Kylonen Minn, Reg. No. 18213

Land Surveyor under the laws of the State of Minnesota.

37445 Grand Avenue
North Branch Mn. 55056
651-674-6210

heavy industrial uses that may have a potential negative environmental impact on adjacent properties due to objectionable noise, heavy truck traffic, fumes or other nuisances, or may adversely affect health, safety or welfare.

lumber yards outside storage areas satellite earth stations with a diameter greater than two meters truck terminals

use, manufacture, or storage of hazardous materials that require registration or licensing with the Minnesota Emergency Response Commission or that require disclosure by Federal or State law as hazardous materials and production of hazardous waste in excess of 100 kg/month, provided the following findings are made in addition to the standard findings for approval of a Conditional Use Permit:

- (1) The use is consistent with the purpose statement of this district.
- (2) The applicant/owner demonstrates that all applicable hazardous material regulations, building code, and fire code provisions will be satisfied and the application includes statements from the appropriate regulatory agencies, City Fire Marshall, and City Building Official concerning compliance with such requirements.

(D) Required Conditions.

- (1) Lot Size. No minimum lot size; minimum lot width of 100 feet.
- (2) <u>Building Setbacks</u>. Front yard shall be 50 feet; rear yard shall be 20 feet; side yard shall be 10 feet except that side yard setbacks on corner lots shall be 30 feet. A landscaped 75-foot-setback is required as a buffer between industrial structures, truck and equipment parking, or outdoor storage facilities and property designated for residential use. Employee and visitor parking areas shall be set back at least 20 feet from dedicated rights-of-way and property planned for residential use. Required setbacks to property planned for residential use shall be heavily landscaped and include earthen berms.
 - (a) Minor Arterial and Collector Streets. Along minor arterial streets as identified in the Comprehensive Guide Plan, residential structures shall maintain a 40-foot setback. Along collector streets as identified in the Comprehensive Guide Plan, residential structures shall maintain a 30-foot setback.
 - (b) <u>Shoreland</u>. Lakeside setbacks in shoreland areas shall be regulated by the Shoreland Regulations in Section 209.080.

- (c) <u>Encroachments</u>. The following shall be considered as permitted encroachments on setback requirements:
 - (i) In any yard: eaves, gutters, awnings, chimneys, landings, sidewalks and fences.
 - (ii) In side and rear yards: decks, open terraces, balconies and porches provided they are no closer than five feet to any property line.(These rules do not apply to side yards that adjoin a street.)
- (3) <u>Height</u>. 35 feet; this may be exceeded if for every additional foot of height there is an additional foot of setback on all sides.
- (4) <u>Lot Coverage</u>. Not to exceed 75%. Maximum lot coverage may be increased to 80% if best management practice measures are taken to minimize negative effects on the environment as documented in the current editions of Minnesota Construction Site Erosion and Sediment Control Planning Handbook (MBWSR) and Protecting Water Quality in Urban Areas (MPCA).
- (5) <u>Parking</u>. Parking space requirements shall be as required by Section 206.020 (Parking).
- (6) Signs. As regulated by Section 208 (Signs).
- (7) Storage.
 - (a) All materials, supplies, finished or semi-finished products and equipment shall be stored within a completely enclosed building in the Industrial District unless a Conditional Use Permit for an outside storage area has been obtained.
 - (b) Outdoor storage areas shall be screened to minimize the visual impact of the area in accordance with the following requirements:
 - (i) The screening materials shall consist of both deciduous and coniferous vegetation species, attractive low or no maintenance fencing with an opaquing material, landscaped berm, brick or masonry wall, or any combination of these items. Fencing and walls shall not exceed eight feet in height. All screening materials shall be maintained so that dust and other wind blown materials that originate on the site remain on the site as far as practical.
 - (ii) All landscape materials shall comply with the minimum standards set forth in Section 206.010 (Landscape and Screening). The City

- Forester shall approve the species mix, height, and density of plantings on the basis of year-around screening needs.
- (iii)The materials and equipment within outdoor storage facilities and truck terminals that are located adjacent to street or highway right-of-way shall be completely screened from view from the right-of-way. If a fence or wall is use for screening along a right-of-way or private road that serves more than one property, shrubbery and trees shall be planted to enhance the aesthetics of the fence as viewed from the roadway.
- (iv) The materials and equipment within an outdoor storage area and truck terminals that are located adjacent to property that is not zoned for Industrial uses shall be completely screened from view from the adjoining non-industrial property.
- (v) Industrial uses requiring bulk exterior storage of hazardous materials will not be allowed on wet or very wet soils, very shallow soils or soils with very high or high permeability areas.
- (vi) Trucks and/or trailers used to transport materials and supplies to and from the premises are permitted for a period not to exceed three (3) days. Trucks and/or trailers used for storage purposes are not permitted.
- (8) <u>Refuse</u>. All waste material, debris, refuse and garbage shall be properly contained in a closed container designed for such purposes. Said containers shall be stored within a fully enclosed building or in a screened area upon review through the site and building plan review process.
- (9) <u>Accessory Structures</u>. Accessory structures shall be permitted in the Industrial District through the site and building plan review process.

(10)<u>Fences</u>.

- (a) <u>Location</u>. All boundary line fences shall be located entirely upon the private property of the person, firm or corporation constructing, or causing the construction of such fence, unless the owner of the adjoining property agrees, in writing that such fence may be erected on the division line of the respective properties. The City Council may require the owner of property upon which a fence now exists, or is to be located, to establish lot lines upon said property by the placement of permanent stakes located by a licensed surveyor or engineer.
- (b) <u>Height</u>. Property line fences shall not exceed eight (8) feet in height except as follows:

- (c) Fences along a property line in common with a Residential District shall be subject to the provisions herein described in Residential District.
- (d) Fences in Industrial Districts which are primarily erected as a security measure may have areas projecting into the applicant's property on which barbed wire can be fastened commencing at a point at least seven (7) feet above the ground.
- (e) Such fences shall not be erected within the landscaped portion of the front yard of any industrial establishment.
- (11) Construction and Maintenance. Every fence shall be constructed in a substantial professional manner and shall be constructed of a substantial material reasonably suited to the purpose for which the fence is proposed to be used. Every fence shall be maintained in a condition of reasonable repair and shall not be allowed to deteriorate into disrepair or into a dangerous condition, or constitute a nuisance, either public or private. Any such fence which is or has become dangerous to the public safety, health and welfare is a public nuisance, and the Building Inspector is hereby authorized to commence property proceedings in a court of competent jurisdiction for the abatement thereof.
- (12) Fencing Material. The framing structure of fences in all districts shall be placed on the owner's side of the fence or equally distributed on both sides. Fencing material shall be dimensional, solid sawn, decay resistant lumber. Chain link fencing material with corrosion protection shall be permitted. Other materials may be permitted subject to the approval of the City Manager or his/her designee. It shall be unlawful for any person, firm or corporation to construct and maintain or allowed to be constructed or maintained upon any property located within the City, any fence of metal construction, or otherwise, which is charged or connected with electrical current in such a manner as to transmit said current to persons, animals or things which intentionally or unintentionally may come in contact with the same.

EXTRACT OF MINUTES OF MEETING OF THE CITY COUNCIL OF SHOREVIEW, MINNESOTA HELD SEPTEMBER 8, 2015

Pursuant to due call and notice thereof, a meeting of the City Council of the City of Shoreview, Minnesota was duly called and held at the Shoreview City Hall in said City at 7:00 PM.

The following members were present:

And the following members were absent:

Member ______ introduced the following resolution and moved its adoption.

RESOLUTION NO. 15-75 CONDITIONAL USE PERMIT

WHEREAS, Gary Bosyczka has applied for a conditional use permit to have a contractor's/outside storage area on their properties legally described as:

That part of the Southwest Quarter of the Southwest Quarter of Section 25, Township 30, Range 23, Ramsey County Minnesota lying westerly of the easterly 648.4 feet of said Southwest Quarter of Southwest Quarter and bounded on the South, North, and West by the following described line:

Commencing at a point on the northerly right-of-way line of County Road "E", distant 428.03 feet east of the west line of Section 25; thence on an assumed bearing of North parallel to the east line of said Southwest Quarter of Southwest Quarter a distance of 604.39 feet; thence North 89 degrees, 52 minutes, 10 seconds East 241.7 feet to the point of beginning of the line to be described; thence South 89 degrees, 52 minutes, 10 seconds West 241.7 feet; thence North 298.41 feet; thence South 68 degrees, 31 minutes, 16 seconds East

Resolution 15-75, Gary Boryczka Conditional Use Permit Page 2 of 4

259.73 feet and there terminating. Subject to a road easement over the westerly and northerly 33 feet thereof.

And

The north 194.76 feet of the north 350 feet of the south 604.39 feet of the Southwest Quarter of the Southwest Quarter of the Southwest Quarter of Section 25, Township 30, Range 23, Ramsey County Minnesota, lying north of County Road "E" except the west 428.03 feet and except the east 648.4 feet thereof. Subject to a road easement over the east 33 feet thereof.

(These properties are commonly known as 3680 Kent St. and 0 Kent St. Shoreview, Minnesota.)

WHEREAS, the property is zoned I, Industrial and in this zoning district outside storage is permitted with a Conditional Use Permit; and

WHEREAS, the applicant is requesting a conditional use permit to the establish an outside storage yard for the storage of construction vehicles and equipment; and

WHEREAS, the property is currently developed with 6,000 square foot industrial building that has on-site parking and enclosed outside storage area; and

WHEREAS, the Planning Commission held a public hearing on the proposal and found that the proposed use was consistent with the Comprehensive Guide Plan and that the proposed use would not have a detrimental effect on the character and development of the neighborhood; and

WHEREAS, the City Council is authorized by state law and the City of Shoreview Development Code to make final decisions on conditional use permit requests.

NOW, THEREFORE, BE IT RESOLVED BY THE SHOREVIEW CITY COUNCIL, that the above-described conditional use permit be approved on the basis of the following findings of fact:

- 1. The property is zoned I, Industrial in which outdoor storage is permitted as a conditional use.
- 2. The land use complies with the designated land use of the Comprehensive Plan and the proposed outdoor storage use will not impede the future redevelopment of this area.
- 3. The outdoor storage area complies with the standards of Section 205.050 (D)(7).

NOW, THEREFORE, BE IT FURTHER RESOLVED BY THE SHOREVIEW CITY COUNCIL that a Conditional Use Permit allowing the outside storage area as shown on the plans submitted (File No. 2587-15-30) is hereby approved, subject to the following conditions:

1. The two parcels must be combined within 1 year of approval of the Conditional Use Permit or prior to any sale.

Resolution 15-75, Gary Boryczka Conditional Use Permit Page 3 of 4

- 2. The project must be completed in accordance with the plans submitted with the applications. Outdoor storage area shall be enclosed with fencing and screened as indicated in the approved plan. Vegetation that dies shall be replaced in accordance with the City's landscaping requirements. Fencing may be required on the South lot for screen if vegetation fails to provide adequate year round screening.
- 3. Use of the outdoor storage area is limited to the materials and equipment related to the business. Trucks used as storage containers are prohibited.
- 4. The outside storage area containing equipment shall be secured to prevent unauthorized entry.
- 5. There shall be no storage of hazardous materials within the outside storage area.

The motion was duly seconded by Council Member taken thereon, the following voted in favor thereof:		and upon a vote	being
And the following voted against the same:			
Adopted this 8th day of September, 2015			
	Sandra C. Martin Shoreview City C		
ATTEST:			
Terry Schwerm, City Manager			
ACCEPTANCE OF CONDITIONS:			
			•
Gary Boryczka			

SEAL

Resolution 15-75, Gary Boryczka
Conditional Use Permit
Page 4 of 4

STATE OF MINNESOTA)

COUNTY OF RAMSEY

CITY OF SHOREVIEW

I, the undersigned, being the duly qualified and acting Manager of the City of Shoreview of Ramsey County, Minnesota, do hereby certify that I have carefully compared the attached and foregoing extract of minutes of a meeting of said City of Shoreview City Council held on the 8th day of September, 2015 with the original thereof on file in my office and the same is a full, true and complete transcript there from insofar as the same relates to adopting Resolution 15-75.

WITNESS MY HAND officially as such Manager and the corporate seal of the City of Shoreview, Minnesota, this 8th day of September 2015.

Terry C. Schwerm City Manager

SEAL

Proposed Motion

MOAFD BA COONC	ILIVIEIVIBEK			
SECONDED BY COU	JNCILMEMBER		_	
To adopt Resolution No. 15–80, granting host city approval to the issuance of a senio housing note and authorizing the execution of a joint powers agreement relating to the refinancing for Scandia Shores (Shoreview Senior Residence Project).				
VOTE:	AYES:	NAYS:		
Johnson Quigley Springhorn Wickstrom Martin				

City Council Meeting September 8, 2015

Memorandum

To: Mayor and City Council Members

CC: City Manager

From: Tom Simonson, Assistant City Manager and Community Development Director

Date: September 2, 2015

Re: Host City Approval for Refinancing of Shoreview Senior Residence/Scandia Shores Project

Introduction

The City of Shoreview is being asked to adopt a resolution and approve a joint powers agreement for granting host city approval to the refinancing of the Scandia Shores senior housing facility (Shoreview Senior Residence). While the facility is located within the City of Shoreview, the City of North Oaks has agreed to act as the issuer of the proposed revenue obligations.

Discussion

Shoreview Senior Residence was formed by Twin City Christian Homes (now Avinity) when the 108-unit Scandia Shores senior housing apartment complex was developed in Shoreview back in 1996. In 2005, the City of Shoreview issued \$6.3 million of Senior Housing Revenue Refunding Bonds on behalf of Shoreview Senior Residence Project to refinance the Scandia Shores senior multi-family housing property located at 418 Highway 96 West.

The borrower (Shoreview Senior Residence) desires to once again refinance its facility to take advantage of the current market and interest rates. Bremer Bank has agreed to purchase the tax-exempt obligations, and the structure of the proposed refinancing will require a designation of bank qualification for the new tax-exempt obligation. Since the City of Shoreview has a number of projects underway or planned that will require us to utilize the full bank qualification capacity for our own bonding purposes, the City of North Oaks has agreed to serve as the issuer for this refinancing.

Unlike the recent host city consent granted by the City Council for the refinancing project for Northeast Youth & Family Services, this proposal involves the issuance of housing bonds. According to law, municipalities can only issue housing bonds for facilities located within the municipality's boundary unless they undertake "joint action". Therefore, the refinancing

proposal will require a Joint Powers Agreement to be executed between the cities of North Oaks and Shoreview.

Attached is proposed Resolution No. 15-80, which grants host city approval of the proposed refinancing for Scandia Shores through the City of North Oaks, as well as a draft Joint Powers Agreement. Also included with this report is a letter from Briggs and Morgan, the bond counsel for this refinancing project, which provides additional background and summarizes the proposal. There are no legal risks or financial obligations to the City of Shoreview associated with the proposed refinancing.

Recommendation

City staff recommends that the City Council adopt Resolution No. 15-66, granting host city approval to the issuance of a senior housing note and authorizing the execution of a joint powers agreement relating to the refinancing for Scandia Shores (Shoreview Senior Residence Project). No public hearing is required for this action.

Extract of Minutes of a Meeting of the City Council of the City of Shoreview, Minnesota

Pursuant to due call and notice thereof, a regular meeting of the City Council of the City of Shoreview, Minnesota, was duly held at the City Hall in said City on Tuesday, the 8th day of September, 2015, at 7:00 P.M.

whereupon said resolution was declared duly passed and adopted.

RESOLUTION 15-80

RESOLUTION GIVING HOST APPROVAL TO THE ISSUANCE OF A SENIOR HOUSING NOTE AND AUTHORIZING EXECUTION OF A JOINT POWERS AGREEMENT (SHOREVIEW SENIOR RESIDENCE PROJECT)

WHEREAS, Minnesota Statutes, Section 471.59 (the "Joint Powers Act") provides that two or more governmental units, by agreement entered into through action of their governing bodies, may jointly or cooperatively exercise any power common to the contracting parties, and may provide for the exercise of such power by one of the participating governmental units.

WHEREAS, in connection with revenue bonds issued under Minnesota Statutes, Chapter 462C (the "Act"), Section 462C.14, Subd. 3 provides for joint action between cities pursuant to the Joint Powers Act.

WHEREAS, Shoreview Senior Residence, a Minnesota nonprofit corporation, doing business as Scandia Shores (the "Borrower"), desires to redeem and refund the \$6,745,000 Senior Housing Revenue Refunding Bonds (Shoreview Senior Residence Project) Series 2005A (the "Prior Bonds") issued by the City of Shoreview, Minnesota (the "City") to refinance the acquisition, construction and equipping of a 105-unit senior independent living facility located at 418 West Highway 96 in the City (the "Project"); and

WHEREAS, the Borrower has proposed that the City of North Oaks, Minnesota ("North Oaks"), issue tax exempt revenue bonds (or a single note) in the approximate aggregate principal amount not to exceed \$6,300,000 (the "Bonds") to finance the Project by refunding the Prior Bonds pursuant to Minnesota Statutes, Chapter 462C (the "Act"); and

WHEREAS, in connection with the issuance of the Bonds it is proposed that a Joint Powers Agreement (the "Joint Powers Agreement") be entered into between the City and North Oaks pursuant to the Joint Powers Act; and

WHEREAS, the Bonds are payable solely from revenues of the Borrower, will not be a general or moral obligation of the City, North Oaks, or any other political subdivision of the State of Minnesota, but will be payable solely from revenues of the Borrower, to the extent and in the manner provided in the documents executed in connection with the issuance of the Bonds;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Shoreview, Minnesota, as follows:

- 1. The City hereby gives the host approval required under the Internal Revenue Code to the issuance of the Bonds by North Oaks and to the housing program financing of the Project.
- 2. In no event shall the Bonds ever be payable from or charged upon any funds of the City; the City is not subject to any liability thereon; no owners of the Bonds shall ever have

the right to compel the exercise of the taxing power of the City to pay any of the Bonds or the interest thereon, nor to enforce payment thereof against any property of the City; the Bonds shall not constitute a charge, lien or encumbrance, legal or equitable, upon any property of the City; and the Bonds do not constitute an indebtedness of the City within the meaning of any constitutional or statutory limitation.

3. The Joint Powers Agreement is hereby approved in substantially the form now on file in the office of the City; and the Mayor and City Manager are authorized to execute the same in the name of and on behalf of the City. In the event of the disability or the resignation or other absence of the Mayor or City Manager, such other officers of the City who may act in their behalf shall without further act or authorization of the City do all things and execute all instruments and documents required to be done or to be executed by such absent or disabled officials. The approval hereby given to the Joint Powers Agreement includes approval of such additional details therein as may be necessary and appropriate and such modifications thereof, deletions therefrom and additions thereto as may be necessary and appropriate and approved by the City Attorney and by the City officials authorized herein to execute the Joint Powers Agreement prior to their execution; and such City officials are hereby authorized to approve said changes on behalf of the City.

Adopted by the City Council of the City of Shoreview, Minnesota, this 8th day of September, 2015.

Attest:	Mayor	
City Manager		

STATE OF MINNESOTA COUNTY OF RAMSEY CITY OF SHOREVIEW

I, the undersigned, being the duly qualified and acting Deputy Clerk of the City of Shoreview, Minnesota, DO HEREBY CERTIFY that I have compared the attached and foregoing extract of minutes with the original thereof on file in my office, and that the same is a full, true and complete transcript of the minutes of a meeting of the City Council of said City duly called and held on the date therein indicated, insofar as such minutes relate to a resolution giving host approval to the issuance of revenue bonds and authorizing execution of a Joint Powers Agreement (Shoreview Senior Residence Project).

WITNESS my hand this	day of September, 2015.
	City Deputy-Clerk

JOINT POWERS AGREEMENT (SHOREVIEW SENIOR RESIDENCE PROJECT)

THIS AGREEMENT is entered into as of the _____ day of September, 2015, between the City of North Oaks, Minnesota ("North Oaks") and the City of Shoreview, Minnesota ("Shoreview") (collectively, the "Cities", or individually, a "City"). Each of the municipalities named above is a municipal corporation duly organized under the laws of the State of Minnesota.

- 1. Minnesota Statutes, Section 471.59 (the "Joint Powers Act") provides that two or more governmental units, by agreement entered into through action of their governing bodies, may jointly or cooperatively exercise any power common to the contracting parties, and may provide for the exercise of such power by one of the participating governmental units.
- 2. In connection with revenue bonds issued under Minnesota Statutes, Chapter 462C (the "Act"), Section 462C.14, Subd. 3 provides for joint action between cities pursuant to the Joint Powers Act.
- 3. Shoreview Senior Residence, a Minnesota nonprofit corporation, doing business as Scandia Shores (the "Borrower"), has proposed that the Cities enter into this agreement pursuant to the Act, pursuant to which North Oaks will issue one or more series of revenue bonds or a single note (the "Note") in an amount not to exceed \$6,300,000 and loan the proceeds thereof to the Borrower to refinance certain tax exempt bonds of Shoreview relating to the project described in Exhibit A.
- 4. Each City will adopt a resolution (i) evidencing its intent to undertake the housing program applicable to such City, (ii) evidencing its intent to enter into this Agreement, and (iii) granting host approval (or, in the case of North Oaks, granting approval) to the issuance of the Note as required under the Internal Revenue Code.
- 5. North Oaks shall exercise the powers of the Act by adopting, approving and executing such resolutions, documents, and agreements as shall be necessary or convenient to authorize, issue, and sell the Note and such other resolutions, documents, and agreements as shall be necessary or required in connection with the issuance of the Note and giving effect to or carrying out the provisions of this Agreement and documents under which the Note is issued and/or secured.
- 6. The Note shall be a special, limited obligation of North Oaks, payable solely from proceeds, revenues and other amounts pledged thereto and more fully described in the Indenture. In no event shall the Note ever be payable from or charged upon the general credit, taxing powers or any funds of any of the Cities; the Cities are not subject to any liability thereon; no owner of the Note shall ever have the right to compel the exercise of the taxing power of any of the Cities to pay the Note or the interest thereon, nor to enforce payment thereof against any property of any of the Cities; the Note shall not constitute a charge, lien or encumbrance, legal or equitable, upon any property of any of the Cities; and the Note does not constitute an indebtedness of either of the Cities within the meaning of any constitutional, statutory, or charter limitation.

- 7. This Agreement shall terminate upon the retirement or payment in full of the Note, and this Agreement may not be terminated in advance of such retirement or repayment.
- 8. This Agreement may be executed in counterparts, each of which shall be an original, but such counterparts shall together constitute but one and the same instrument.

(Remainder of page intentionally blank.)

IN WITNESS WHEREOF, each of the Cities has caused this Agreement to be executed on its behalf by its duly authorized officers, all as of the day and year first above written.

CITY OF NORTH OAKS, MINNESOTA, as Issuer
Ву
Its Mayor
Ву
Its City Administrator

SIGNATURE PAGE TO JOINT POWERS AGREEMENT

By _______ Its Mayor By _______ Its Manager

CITY OF SHOREVIEW, MINNESOTA

SIGNATURE PAGE TO JOINT POWERS AGREEMENT

EXHIBIT A

Housing Program

PROGRAM FOR FINANCING A SENIOR MULTIFAMILY RENTAL HOUSING DEVELOPMENT

Proposal Authority. Pursuant to Minnesota Statutes, Chapter 462C (the "Act") and Minnesota Statutes, Chapter 471.59, the City of North Oaks, Minnesota ("North Oaks") through a Joint Powers Agreement with the City of Shoreview, Minnesota ("Shoreview") is authorized to develop and administer programs of senior multifamily housing developments under the circumstances and within the limitations set forth in the Act. Minnesota Statutes, Section 462C.07 provides that such programs for Minnesota family housing developments may be financed or refinanced by revenue bonds issued by North Oaks. This housing finance program (the "Program") is undertaken by North Oaks and Shoreview to refinance a Project (as hereafter described) owned and operated by Shoreview Senior Residence, a Minnesota nonprofit corporation doing business as Scandia Shores (the "Company"). North Oaks expects to issue multifamily housing development revenue bonds (the "Bonds") pursuant to Minnesota Statutes, Chapter 462C, to assist in refinancing the Project.

General Description of the Program and Location. North Oaks anticipates loaning the proceeds of the Bonds to the Company to refinance tax exempt debt used to acquire and construct a 105-unit senior multifamily independent living rental apartment facility in Shoreview at 418 W. Highway 96 (the "Project"). The mix of apartments available for lease and the monthly rent per apartment is as follows:

Unit Type	Size	Number of Units	Rent Range		
1 bdm/1 bath	738	49	\$970 - \$1,387		
1 bdm/1 bath	839	12	\$1,170- \$1,576		
2 bdm/2 bath	996	32	\$1,869		
2 bdm/2 bath	1,160	12	\$2,178		

Operation of Project. The Project is operated in accordance with applicable development restrictions. In 1996 the Company entered into a Rental Housing Regulatory Agreement with Shoreview whereby 40% of the total apartment units would be rented to tenants whose income does not exceed 60% of the area median gross income, adjusted for family size, and the rent charged on these units cannot exceed 30% of this amount. The maximum rent currently allowed under this restriction is \$975 and \$1,170 for one bedroom and two bedroom apartment units,

respectively, which is what the Company currently charges for those units. Such Agreement is in effect until 2021. The Company operates the Project in accordance with state and local anti-discrimination laws and ordinances.

Revenue Bonds. The Company has indicated that the amount of Bonds required to refinance the Project will be approximately \$6,300,000 and will mature in approximately 20 years. The proceeds will refinance certain tax exempt debt issued by Shoreview in 2005 and pay certain costs of issuing the Bonds, and may, but are not required to, be used to establish certain reserves. An additional conventional loan of approximately \$750,000 is also expected to provide refinancing for the Project.

<u>Issuance Authority</u>. The Bonds will be issued pursuant to Section 462C.07 Subdivision 1 of the Act and shall be payable primarily from revenues of the Program. Issuance of the Bonds is anticipated to be in September, 2015.

Monitoring. The Company expects to enter into suitable agreements with necessary parties to ensure consistent compliance with the objectives of this Program, as well as with the requirements of applicable law.

<u>Use of Bond Proceeds</u>. The proceeds of the Bonds will be loaned to the Company pursuant to a revenue agreement (the "Loan Agreement") by and between North Oaks and the Company. The Company will be required, pursuant to the Loan Agreement, to make payments sufficient to pay when due the principal of, premium, if any, and interest on the Bonds.



2200 IDS Center 80 South 8th Street Minneapolis MN 55402-2157 tel 612.977.8400 fax 612.977.8650

August 21, 2015

Trudy J. Halla (612) 977-8513 thalla@briggs.com

BY E-MAIL

Mayor and Councilmembers Tom Simonson City of Shoreview 4600 Victoria St. N. Shoreview, MN 55126-5817

> Re: Host Approval for Refinancing of Shoreview Senior Residence/Scandia Shores Project

Dear Mayor, Councilmembers, and Mr. Simonson:

This letter is provided to give background information for the request of Shoreview Senior Residence, doing business as Scandia Shores (the "Borrower"), for host approval by the City of Shoreview (the "City") to the refinancing of its senior multifamily housing facility located in the City.

In 2005, the City issued its \$6,300,000 Senior Housing Revenue Refunding Bonds (Shoreview Senior Residence Project) Series 2005A (the "Prior Bonds"), the proceeds of which were loaned to the Borrower to refinance the acquisition and construction of and improvement to the Borrower's senior multifamily housing facility located at 418 W. Highway 96 in the City (the "Project). The Prior Bonds had been publically offered by Northland Securities, Inc.

The Prior Bonds were NOT designated by the City as "bank qualified," which gives banks certain favorable tax treatment for governmental bonds and bonds issued for the benefit of 501(c)(3) organizations, like the Borrower. A city may designate up to \$10,000,000 of such bonds as bank qualified in each calendar year. Bank qualified obligations tend to have lower interest rates than non-bank qualified bonds, so they are preferable to the borrower when they can be used.

The Borrower desires to refinance its facility again. Bremer Bank, N.A. has agreed to purchase tax-exempt obligations for that purpose. The structure of the refinancing will require a designation of bank qualification for the new tax-exempt obligations. It is our understanding that the City reasonably expects to use its full bank qualification capacity for its own purposes in 2015. Therefore, it was necessary to find another city with sufficient capacity to act as issuer for this refinancing. The City of North Oaks ("North Oaks") has agreed to be the issuer and Briggs and Morgan, Professional Association will be the bond counsel on the transaction.

BRIGGS AND MORGAN

Mayor and Councilmembers August 21, 2015 Page 2

Because the Project is located in the City, pursuant to both federal tax law and State law, the City must give its approval for North Oaks to act as the issuer for the benefit of the Borrower. Moreover, Minnesota Statutes, Section 462C.05 provides that municipalities can only issue housing bonds for facilities within the municipality's boundary unless they undertake "joint action" as described in Minnesota Statutes, Section 462C.14, subd. 3. We've prepared and included with the resolution and this letter, a form of Joint Powers Agreement. Since the City has already held a public hearing with respect to the Project no further public hearing is necessary. We'd like the City to consider adoption of the resolution at its meeting on September 8.

The tax-exempt obligations that will be issued by North Oaks will not constitute a charge, lien, or encumbrance upon any property of the City or of North Oaks, except the Project and the revenues to be derived from the Project. Such obligations will not be a charge against the general credit or taxing powers of the City or of North Oaks, but are payable solely from sums to be paid by the Borrower pursuant to a loan agreement that it will enter into with North Oaks.

The City's assistance in this matter is appreciated. Please feel free to contact me with any questions or comments.

Sincerely,

/s/ Trudy J. Halla

Trudy J. Halla

TJH Enclosure

PROPOSED MOTION

MOVED BY COUNC	CILMEMBER:		
SECONDED BY CO	UNCILMEMBER :		
To adopt resolution 1	5-77 Reauthorizing the Decla	ration of Trust	with the 4M Fund.
	ROLL CALL:	AYES	NAYS
	JOHNSON		
	QUIGLEY		
	SPRINGHORN		
	WICKSTROM	Name & Advantage of the Advance of t	<u> </u>
	MARTIN		

REGULAR COUNCIL MEETING SEPTEMBER 8, 2015

TO:

City Manager, Terry Schwerm

Mayor and City Council

FROM:

Deborah Maloney, Assistant Finance Director

DATE:

September 8, 2015

SUBJECT:

Reauthorizing the Declaration of Trust with the 4M Fund

INTRODUCTION

The Minnesota Municipal Money Market Fund (4M Fund) is sponsored by the League of Minnesota Cities and has been listed as one of the City's Official Depositories for many years. This resolution would allow a representative of the 4M Fund, acting in a fiduciary role as a Registered Municipal Advisor, to direct bond proceeds into investments that benefit the City in accordance with the City's investment policy and the Declaration of Trust.

DISCUSSION

To maximize investment earnings on idle bond proceeds, the 4M Fund offers cash flow investing services to member cities. In order to take advantage of this service, the 4M Fund is requiring the City adopt the attached Declaration of Trust.

Bond Proceeds from the 2015 G.O. Improvement and Utility Revenue Bonds issued to finance the water treatment facility will be wired into a separate account at the 4M Fund. The funds will be directed into investments by agents of the fund to provide the greatest benefit in interest yield to the City, while ensuring that funds are available at the times they are needed for project costs and contractor payments by coordinating investment maturities with the City's construction draw schedule. Approval of this resolution will also allow the City to benefit from this service with future bond issues.

RECOMMENDATION

Staff recommends approval of resolution 15-77 Reauthorizing Shoreview's Participation in the 4M Fund Declaration of Trust.

EXTRACT OF MINUTES OF MEETING OF THE CITY COUNCIL OF SHOREVIEW, MINNESOTA HELD SEPTEMBER 08, 2015

Shoreview, Minneso	and notice thereof, a Regular meeting of the City Council of the City of ta, was duly called and held at the Shoreview City Hall in said City on at 7:00 P.M. The following members were present:
and the following me	embers were absent:
Councilmember	introduced the following resolution and moved its adoption.
	RESOLUTION 15-77

RESOLUTION REAUTHORIZING DECLARATION OF TRUST WITH THE 4M FUND

WHEREAS, Minnesota Statutes (the Joint Powers Act) provides that governmental units may jointly exercise any power common to the contracting parties; and

WHEREAS, the Minnesota Municipal Money Market Fund (the 4M Fund) was formed in 1987, pursuant to the Joint Powers Act and in accordance with Minnesota Investment Statutes, by the adoption of a joint powers agreement in the form of a Declaration of Trust; and

WHEREAS, the Declaration of Trust, which has been presented to this Council, authorizes municipalities of the State of Minnesota to become Participants of the Fund and make use from time to time including the 4M Liquid Asset Fund, the 4M Plus Fund, the Term Series, the Fixed Rate Programs, and other Fund services offered by the Fund; and

WHEREAS, this Council deems it to be in the best interest for the municipality to make use of, from time to time, the approved services provided by the 4M Fund's service providers including the Investment Advisor (Prudent Man Advisors, Inc.) or Sub-Advisor (RBC Global Asset Management (U.S.) Inc.), the Administrator (PMA Financial Network, Inc.), the Distributor (PMA Securities, Inc.) or the Fixed Rate Program Providers, PMA Financial Network, Inc. and PMA Securities, Inc., and the Custodian, U.S. Bank National Association, ("Service Providers") and/or their successors.

WHEREAS, this Council deems it advisable for this municipality to enter into the Declaration of Trust and become a Participant of the Fund for the purpose of joint investment with other municipalities so as to enhance the investment earnings accruing to each;

NOW, THEREFORE, BE IT RESOLVED AS FOLLOWS:

Section 1. This municipality shall become a Participant of the Fund and adopt and enter into the Declaration of Trust, a copy of which shall be filed in the minutes of this meeting. The appropriate officials are hereby authorized to execute those documents necessary to effectuate entry into the Declaration of Trust and the participation of all Fund programs.

Section 2. This municipality is authorized to invest monies from time to time and to withdraw such monies from time to time in accordance with the provisions of the Declaration of Trust. The following officers of the municipality or their successors are designated as "Authorized Officials" with authority to effectuate investments and withdrawals in accordance with the Declaration of Trust:

Fred Espe/Finance Director		

Section 3. The Trustees of the Fund are designated as having official custody of those monies invested in accordance with the Declaration of Trust.

Section 4. That the municipality may open depository and other accounts, enter into wire transfer agreements, safekeeping agreements, third party surety agreements securing deposits, collateral agreements, letters of credit, lockbox agreements, or other applicable or related documents with institutions participating in Fund programs including U.S. Bank National Association, or its successor, or programs of PMA Financial Network, Inc. or PMA Securities, Inc. for the purpose of transaction clearing and safekeeping, or the purchase of certificates of deposit ("CDs") or other deposit products and that these institutions shall be deemed eligible depositories for the municipality. PMA Financial Network, Inc. and PMA Securities, Inc. and their successors are authorized to act on behalf of this municipality as its agent with respect to such accounts and agreements. Monies of this entity may be deposited in such depositories, from time to time in the discretion of the Authorized Officials, pursuant to the Fund's Programs available through its Services Providers.

RESOLUTION 15-77
Page Three
STATE OF MINNESOTA
COUNTY OF RAMSEY
CITY OF SHOREVIEW

I, the undersigned, being the duly qualified and City Manager of the City of Shoreview of Ramsey County Minnesota, do hereby certify that I have carefully compared the attached and foregoing extract of minutes of a meeting of said City Council held on the 8th day of September, 2015, with the original thereof on file in my office and same is a full, true, and complete transcript therefrom insofar as the same relates to Reauthorization of the Declaration of Trust with the 4M Fund.

WITNESS MY HAND officially as such City Manager and the corporate seal of the City of Shoreview, Minnesota, this 8th day of September, 2015.

Terry Schwerm City Manager

Proposed Motion

MOVED BY COUNC	CILMEMBER		
SECONDED BY COL	JNCILMEMBER		
Shoreview Commo	ns, authorize th	Consulting Services to prepare a master plan for ne City Manager to execute a contract for services, ing the use of the Community Investment Fund for	and
VOTE:	AYES:	NAYS:	
Johnson Quigley Springhorn Wickstrom			

Martin

City Council Meeting September 8, 2015

Memorandum

To: Mayor and City Council Members

From: Tom Simonson, Assistant City Manager and Community Development Director

Date: September 4, 2015

Re: Authorize Hiring of Professional Firm to Develop Shoreview Commons Master Plan

Introduction

The City is seeking professional consulting services for the development of a new comprehensive master plan for the Shoreview Commons civic campus and park area. The City Council and staff determined that with the proposed addition of a new regional library to the campus, planned expansion of the Community Center, and discussion of adding other park amenities, a master plan would be beneficial to long-range planning and guiding improvements in the Shoreview Commons. The City Council also identified the update of the Master Plan as one of their goals during their annual goal setting session held earlier this year. The Council is being asked to authorize the hiring of a firm that has been recommended by a selection panel.

Project Scope

The Shoreview Commons is both the geographic center and heart of the community. The City is seeking to enhance the existing facilities through development of a signature central park environment. The master plan would be used as a framework for creating a distinctive campus environment that includes new park features and amenities which reflect the values of the community and best serves residents and visitors of all ages.



The master plan will serve as a guide for prioritizing future facility improvements, recreational amenities, civic features, and is being undertaken with these core objectives:

- Develop plans for future park improvements and other site amenities within the Shoreview Commons, including exploring the potential re-purposing of existing ballfield areas to create new park elements and features that complement existing public facilities.
- Enhanced connectivity between public facilities on the campus that includes the Shoreview Community Center, Shoreview City Hall, Mounds View School District Administrative Services (future re-purposing of existing Library), new Ramsey County Regional Library (construction starting Fall 2015), Haffeman Pavilion, and County Ice Arena (adjacent).
- *Improved on-site pedestrian and bicycle linkages* that provides safe access to the public services and recreational facilities within the Shoreview Commons.
- *Maintain safe and efficient traffic flow and parking* to support the facilities, events, and activities in the Shoreview Commons area.

Selection Process

A request for qualifications (RFQ) was distributed to four planning firms that were identified as premier local companies experienced in civic campus master planning and park design. Proposals were received by all four of the following firms contacted by the City:

- Hoisington Koegler Group
- SRF Consulting
- Stantec Consulting Services
- WSB & Associates

The proposals were reviewed and interviews with each of the firms were conducted by an advisory group, including:

- Sandy Martin, Mayor
- Desaree Crane, Parks & Recreation Commission Chair
- Terry Schwerm, City Manager
- Michelle Majkozak, Community Center General Manager
- Rebecca Olson, Assistant to the City Manager
- Tom Simonson, Assistant City Manager/Community Development Director

While all four of the firms are experienced and could provide quality work for this project, it was the consensus of the panel that Stantec Consulting Services could offer the best approach to developing a master plan to best fit the City's needs. Stantec has considerable national experience in designing creative and functional public spaces and parks, including work with a number of Twin Cities communities (e.g. Edina, Maple Grove, Shakopee, Woodbury). Included are examples of some of their work, which was provided in their proposal.

The estimated cost of the master planning services is approximately \$37,000, and the project is expected to be a 5-6 month process. The detailed scope of services will be refined further, which could slightly impact the estimated cost. There may also be some additional costs associated directly with utilizing the consulting firm to review and advise the City on impacts

from the proposed regional library, and potential design modifications to the Community Center drive and parking lot areas. Therefore, staff is recommending authorization of up to \$50,000 for this project.

Since the development of a new Shoreview Commons Master Plan was not included in the adopted Capital Improvements Program, the Council must authorize by resolution the use of the Community Investment Fund for this project. The Community Investment Fund has sufficient fund balance to undertake this project.

Recommendation

It is recommended that the City Council approve the hiring of Stantec Consulting Services to prepare a master plan for the Shoreview Commons at the estimated cost of approximately \$50,000, authorize the City Manager to execute a contract for services, and adopt Resolution No. 15-81, allowing the use of the Community Investment Fund for the project.

EXTRACT OF MINUTES OF MEETING OF THE CITY COUNCIL OF SHOREVIEW, MINNESOTA HELD SEPTEMBER 8, 2015

Pursuant to due call and notice thereof, a meeting of the City Council of the City of Shoreview, Minnesota was duly called and held at the Shoreview City Hall in said City on September 8, 2015, at 7:00 p.m.

The following members were present:

And the following members were absent:

Member	introduced the following resolution and moved its adoption

RESOLUTION NO. 15-81

HIRING OF PROFESSIONAL CONSULTING FIRM TO DEVELOP SHOREVIEW COMMONS MASTER PLAN

USE OF COMMUNITY INVESTMENT FUND

WHEREAS, the City of Shoreview (the "City"), City Council has determined that with the proposed addition of a new regional library to the campus, planned expansion of the Community Center, and discussion of adding other park amenities, a master plan would be beneficial to long-range planning and guiding improvements in the Shoreview Commons; and

WHEREAS, the City is seeking professional consulting services for the development of a new comprehensive master plan for the Shoreview Commons civic campus and park area; and

WHEREAS, the Shoreview Commons is both the geographic center and heart of the community as a social, recreational, and cultural gathering place; and

WHEREAS, the Shoreview Commons master plan would be used as a framework for creating a distinctive campus environment that includes new park features and amenities which reflect the values of the community and best serves residents and visitors of all ages; and

WHEREAS, a request for qualifications (RFQ) was distributed to four planning firms that were identified as premier local companies experienced in civic campus master planning and park design; and

WHEREAS, the four proposals were reviewed and interviews conducted with each of the firms by an advisory group of City officials, with the recommendation to hire Stantec Consulting Services to prepare a Shoreview Commons master plan; and

WHEREAS, the Shoreview Commons master plan project is proposed to be paid for through the City's Community Investment Fund;

	w Shor the pr		Commo	ns Mast	er Plan,	, includ	ing rela	ted con	sulting	services	costs a	ssoci	ated
:	*	*	*	*	*	*	*	*	*	*	*	*	*
			_	_				ded by I ted in fa					
And	the fol	llowing	voted a	gainst t	he sam	e:							
WHE 2015		ON, said	d resolu	tion wa	s declar	red duly	/ passe	d and ac	lopted	the 8 th o	day of S	epter	nber,
STAT	TE OF N	MINNES	OTA)										
cou	NTY O	F RAMS	SEY)										
CITY	OF SH	OREVIE	:w)										

NOW, THEREFORE, BE IT RESOLVED, pursuant to the adopted policy, the City Council (by four-fifths vote) hereby authorizes the expenditure of up to \$50,000 for the development of

I, the undersigned, being the duly qualified City Manager of the City of Shoreview of Ramsey County, Minnesota, do hereby certify that I have carefully compared the attached and foregoing extract of minutes of a meeting of said City Council on the 8th day of September, 2015, with the original thereof on file in my office and the same is full, true and complete transcript therefrom insofar as the same relates to the use of the Community Investment Fund for the purpose of hiring a consulting firm to develop a Shoreview Commons Master Plan.

WITNESS MY HAND officially as such City Manager and the corporate seal of the City of Shoreview, Minnesota this 9th day of September, 2015.

Terry C. Schwerm, City Manager



Stantec Consulting Services Inc. 2335 Highway 36 West St. Paul MN 55113-3819

August 21, 2015

Attention: Tom Simonson
Assistant City Manager/Community Development Director
City of Shoreview
4600 Victoria Street North
Shoreview, MN 55126

Dear Tom and Evaluation Committee:

Building on the history and existing facilities and resources within Shoreview Commons Park and Civic Campus, we will combine background information and the community's aspirations to develop a cohesive campus master plan. We recognize that the City and the site will not ultimately be able to accommodate every potential use or group, but we will conduct a process that creatively dreams about what the facilities could be, identifies the critical issues and priorities, and produces an outcome that is inspiring. Our recent work on the Bossen Field Park Master Plan in Minneapolis demonstrates our ability to work collaboratively with staff, councils, commissions, and the public in addressing complex challenges and creating great projects.

Imagine the newspaper headline: Redefining the Municipal Central Park: The City of Shoreview is the first community in the region to have a.... Our team of innovative professionals will help you complete that sentence through a rigorous, creative, and fun master planning effort for the Shoreview Commons Park and Civic Campus. Our team includes landscape architects, planners, traffic engineers, civil engineers, architects, and other professionals to successfully deliver on this critically important project for the City of Shoreview. With our breadth of in-house expertise providing first-in-class civic environments, we can and will deliver on your dreams, so dream big!

Speaking on behalf of our team, we would love to have the opportunity to work with you and your staff and citizens in charting the future of Shoreview Commons Park and Civic Campus. Please contact me if you have any questions or would like additional information after reviewing our proposal.

Enthusiastically,

STANTEC CONSULTING SERVICES INC.

Stuart Krahn, PLA, LEED-AP

Principal

(651) 604-4861

stuart.krahn@stantec.com

Jim Maland, PE

Associate

(651) 604-4759

jim.maland@stantec.com

PROJECT UNDERSTANDING

Shoreview Commons Park and Civic Campus is home to a wide range of public facilities, and receives hundreds of thousands of visitors each year. At nearly 40 acres, it includes the Shoreview Community Center, Shoreview City Hall, Haffeman Pavilion, ballfields, hardcourts, skatepark, hockey rink, playground, trails, mature trees, plantings, a pond, along with other facilities and amenities. Adjacent to the site is the Ramsey County Library, which will be repurposed into the Mounds View School District Administrative Services, the site for the new Ramsey County Library, the County Ice Arena, and the Shoreview Maintenance Center. The goal of the current project is to create a Master Plan to guide future development on the site to accomplish the four objectives identified in the RFP. Each of these core objectives is intended to address challenges and opportunities.

We are excited to engage our team's specialized recreation and listening skills in a collaborative design process with City Council, Park and Recreation Commission, and City staff to meet these objectives.



The Shoreview Civic Campus truly has a campus feel, with mature trees and extensive and well-maintained plantings.

The Master Plan will provide a comprehensive, coordinated, and creative vision for Shoreview Commons Park and Civic Campus that creates high quality, innovative, and memorable places to delight current residents and attract future ones.

Objective #1:

Develop plans for future park improvements and other site amenities

Working with City staff and others, we will take a deep dive into what is currently working, and what isn't. We will also brainstorm with you and bring examples of national and international park feature innovations, including "winter cities" ideas to promote year round use.

We will take a close look at providing experiences for all ages, with multi-generational amenities and activities. Once the current and future improvements program is



The existing skate park has been identified as a potential updating opportunity.

developed, we will apply our creativity and our practicality to integrate existing uses with future ones to create a memorable campus and a master development program for phasing of improvements.

Objective #2:

Enhanced connectivity between public facilities

What is the best way to get from the Community Center to the new Library? A well thought out Master Plan will identify critical connections between the various destinations, and plan for a circulation system that is intuitive, efficient, and safe. This includes cars, buses, bikes, pedestrians, skaters, strollers, maintenance vehicles, delivery vehicles, and all manner of movers.



With hundreds of thousands of annual visitors, pedestrian safety, and multiple modes of travel, including bicycling and transit, will be accounted for in the master plan.

Objective #3: Improved on-site pedestrian and bicycle linkages

Expanding on Objective #2, extending enhanced pedestrian and bicycle connections throughout the site will open up the campus to more users, enabling them to more safely and efficiently access available public services.

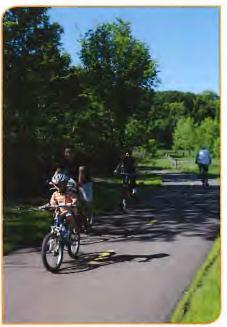
Improved linkages will also encourage them to explore more and stay longer!

Objective #4:

Maintain safe and efficient traffic flow and parking

As the number of uses intensifies, or configurations and relationships between uses change on the site and the number of visitors increases, meeting this objective is essential. Visitors' memories of places are significantly impacted by their arrival and departure experiences.

We will create a plan that balances safety, efficiency, and aesthetics so that roadways, intersections, and surface parking are convenient without being the dominant features on the site. For example, the heavily used



Improved linkages will improve visitor experiences.

pedestrian crossing from the parking lot to the Community Center and City Hall, and traffic speeds along the gracefully curving Victoria Street as it passes by a main entry point into the park and campus, are just two of the areas we will review.



We will develop a plan that improves traffic flow and parking.

A central park should serve the needs of community by inspiring creativity, activity, thought, pride, and fun!

The Role of a "Central Park" in a Community

Great places are created by those with vision and commitment to building parks and recreation destinations with lasting and enduring qualities. These places become the identity and centers of our communities, providing public spaces for our children, families, residents and visitors. They tell stories of the past and create the stories of the future. And, most importantly, parks must improve the quality of our lives.

We believe in experience-based design that not only reveals and optimizes the essence of a place, but exposes the inter-connectedness of that place from the past, to the present as well as into the future. These "elective places" should inspire creativity, activity, thought, pride, and must also be fun!

With today's worldwide focus on urbanism and sustainability, our public spaces and parks are being compelled to provide more than previously imagined. We have partnered with municipalities with the vision to invest in public spaces to help them achieve the right blend of social, economic, health, and environmental benefits. These places must be crafted and constructed as a civic investment, which will guide the development of a community in a way that can be sustained well into the future.

We believe that Space becomes Place when it is endowed with value and that the most successful parks and public places:

- · Serve the specific needs of the community
- Are built to be easily maintained and evolve over time
- Are smart and educational
- Are actively programmed
- Tell a story about a place and time
- Become a major brand component of the City
- Are flexible to accommodate a variety of activities through four seasons
- Are designed to be aesthetically pleasing
- Are environmentally and economically resilient



Public spaces should provide the right blend of social, economic, health, and environmental benefits.

Shoreview Commons Park and Civic Campus Approach

Our approach is a collaborative partnership with City staff and elected and appointed officials that will guide the creation of a new master plan, Our commitment will be to generate a unique and rewarding experience for all involved in this process.

With you as our partner, we will create opportunities for a truly unique campus, expressed through Experience, Place, and Story. From the scale of the urban context to the scale of landscape details, we recognize the importance of a holistic approach to design. Our process is based on a clear understanding of each particular site and client issues influencing the project.

Inspired by Community and Context

We believe that parks should inspire their communities and that communities should inspire their parks. As gathering spaces, reflections of the past, places for recreation and places to create



The campus includes both mature woods and a pond, which create opportunities for passive observation and interactions with nature.

memories, parks are most successful when they reflect the community's personality. Our approach to community involvement is a tailored to the needs of each project.

Public Park and Recreation Design Principles

Fundamental to all great public parks is the creation of a variety of spaces and places within an overall place that, when experienced in part or in whole, leaves the visitor with a rich and meaningful experience. These spaces, when layered with cultural and geographic influences, create a truly great place and ultimately define the spirit of the place. Key to the success of a park is the incorporation of several dynamic destinations within the park. A hierarchy of spaces within the park contributes to the overall sequencing of space and determines locations for program elements that will be incorporated. An intuitive, clear network of promenades, pathways, plazas and visual connections will tie together the different program elements of the park. It is this variety of program and flexibility of space that will provide unique and transformational experiences.

Landscape and hardscape contributes to the human comfort and spatial definition of a park. It is a living and evolving system that marks seasonal changes and contributes to the health of the regional ecosystem. Trees provide shade and structure to park spaces. Shrubs, groundcover, grasses, and flowers add texture and seasonal interest to the gardens within the park. The existing trees and plantings within the park and on the campus will be analyzed and augmented to maximize the role of vegetation in achieving the goals of the master plan.

A well-rounded master plan may include traditional recreational elements, such as ballfields, playgrounds and hockey rinks, but we will look to extend the seasons of use for these types of elements with innovative "winter cities" ideas.

Revenues are important to any park system so opportunities to generate revenue year found can make a significant difference in the financial bottom line.

Creating "Winter Cities"

Parks need vibrancy year-long to be successful. If you achieve vibrancy in January, then the Park will especially thrive in July. The park should be designed to consider climatic and microclimatic influences. Solar and thermal comfort can be accommodated through the use of landscaping, shade and warming structures and solar aspect and smart winter design that puts people in the sun and away from the wind. It can mean animating the public realm through pop-up kiosks and fire pits. It requires the protection of pedestrians and people watchers through protective canopies, awnings, and proper building placement to disrupt the wind.

Extending use in northern climates also requires planning for shorter daylight hours. Night time lighting should consider the safety of the park and should play a dramatic role in the aesthetics of the park. Theatrical lighting should be designed in a way that contributes to the character and function of the park.

Action Sports

Action Sports design is a unique differentiator for Stantec's practice. Our sports specialists know every inch of every recreation and sports surface because we've raced, practiced, and played on them as athletes and enthusiasts ourselves. From customized skate parks and BMX tracks to multi-purpose interactive sports plazas and ice trails, our designs are tailored to our client's specific program needs.

Active Sports add a whole new energy level to park spaces with the ability to greatly enhance revenue generation, attract visitors, and build strong community support. We are sensitive to the needs of active sports enthusiasts and those who seek quiet enjoyment. Our experience within hundreds of municipal park sites has given our team the ability to achieve the proper balance between passive and active recreation to the satisfaction of all park patrons.



Our team will bring insights into action sports design gained through their own enthusiasm as athletes and enthusiasts.

Storytelling and Branding

We look to create branded experiences and places that are not only memorable and increase park visits, but have the ability to generate revenue. A three-dimensional branded place creates an experience that communicates formative ideas into sensory and emotive environments. We are experts in identifying and developing the strategic goals and desired outcomes of clients, corporations, businesses and institutions by bringing them to life in the design of places.

In addition to this, we consider programming to be a critical element to the overall success of the park. We base our programming and resulting designs on current best practices, community input, and data, while at the same time not forgetting the traditional and fundamental



principles of park design. Through our experience with similar parks, we bring to you comparisons, examples and best practices, and cutting edge technology.

Local Experience, International Perspective

Our team offers a strong balance of local experience and national perspective. The individuals that you will be working with have collaborated on projects throughout North America and offer to you a diverse and unique perspective toward park design. We emphasize innovative solutions within all of our disciplines. Our experience with similar projects provides us with access to relevant normative case studies and references, and the ability to improve upon previous solutions and to create new answers. Our deliverables are clear, concise, and readily integrated into on-going implementation strategies and facility operations. We understand the necessity for clients to acquire not only an innovative design that pushes the envelope, but a practical design as well.

Sustainability and Conservation

We embrace our responsibility to advance sustainable design for every client we engage. We are committed to incorporating sustainability into our projects and our operations. Low impact design, stormwater management, local materials sourcing, natural vegetation, energy conservation, renewable energy production, emissions reduction, and carbon sequestration represent a few design practices of our design team.

SCOPE OF WORK

Our specialized recreation experts will help you plan a memorable park and civic campus with appeal to all ages. This scope of work shows you how we will do it.

TASK 1: Background, Context, and Vision

Subtask 1.1: Scoping Meeting with City Project Management Team

Prior to engaging a larger stakeholder group, we will meet with the City Project Management Team to review the scope, schedule, and budget. We will also discuss preferred communication methods and frequency so that we can match our level and style of communications to your expectations. We will identify potential project risks and opportunities, and jointly develop solutions to minimize the potential risks and maximize the opportunities.

Subtask 1.2: Compile and Synthesize Background Information

Good planning begins with research and a solid foundation of knowledge on which to plan. As a design team, we will gather knowledge from historical use and physical development patterns, both past and present. We will also gain knowledge through interaction with project stakeholders and City staff who know not only Shoreview Commons Park and the Civic Campus, but also how it fits into the overall City fabric.

We will carefully review previously completed and ongoing planning studies, such as the plans for the Ramsey County Library and the Community Center expansion, for their relationship to, and potential impact on the park and campus. We will provide a summary of key components of these other plans and studies within the master planning documents.

The campus setting, with its many attributes, including mature trees and a pond, will be carefully considered as we consider the background, context and vision for the park and campus.

Subtask 1.3: Preliminary Opportunities and Constraints Analysis

We will prepare an initial site analysis for the entire park and campus and its surrounding context. The primary areas of analysis will include:

- Natural Systems and Features
- · Spatial Organization and Relationships
- Surrounding Land Uses
- Parking, Access, and Circulation Patterns
- Accessibility
- Topography
- Vegetation
- Existing Buildings and Structures
- · Existing Facilities and Features
- Views

Subtask 1.4: First Stage Consultation

The first stage in the consultation process will focus on developing and confirming a common vision for the process and desired outcomes. This first round of consultation meetings with the Working Group (as defined by City staff) will also review the opportunities and constraints information prepared by the design team. For each consultation meeting in this and all subsequent subtasks, we will prepare the meeting agenda and materials, participate in the presentations, and document the discussions and action items in written meeting records.

Task 1 Deliverables

- · Scoping meeting with City Project Management Team
- · Background Information Summary
- · Graphic and Written Preliminary Opportunities and Constraints Analysis
- Working Group Meetings (2)



Our team will meet with the Working Group to review opportunities and constraints for the Commons Park and Clvlc Campus.

- · Aerial and LiDAR Base Drawings
- · Opportunities and Constraints Analysis
- Initial Programming Discussion Materials

TASK 2: Detailed Analysis and Programming

Subtask 2.1: Detailed Opportunities and Constraints Analysis

Under this subtask, we will build on the previously gathered information to provide a more detailed analysis. This will include careful review of the proposed Ramsey County Regional Library plans and how to best incorporate it into the civic campus.

Subtask 2.2: Programming and Spatial Analysis

The programming process will seek to understand existing use patterns and projected demands for activities and facilities. We will also open the discussion up to have an inclusive conversation about the full range of potential features and facilities that could be included in the Master Plan.



Our team has deep experience in year-round programming including the NIBCO Ice and Water Park constructed in 2008,

As part of the evaluation of existing facilities, we will look at how they function in relationship to the rest of the park and campus as well as the current physical condition and life cycle of those facilities.

Once all the ideas are on the table, we will define the spatial requirements of each potential element, and prepare scale and spatial relationships analysis tools that will be used in the master planning process.

Subtask 2.3: Second Stage Consultation

The second stage in the consultation process will reengage the Working Group and potentially an even larger group, extending beyond the Working Group to consultation programs with identified members of the community and focus groups. Information received through this second stage in the consultation process will be synthesized to inform the community vision and common objectives guiding the project.

Task 2 Deliverables

- Graphic and Written Detailed Opportunities and Constraints Analysis
- Working Group Meetings (2)
- Focus Group Meetings (3)

We take pride in delivering practical, implementation-driven plans. With a comprehensive understanding of how tools and strategles work on the ground, our plans are structured to provide accurate cost estimates and timelines.

TASK 3: Draft Master Plans

Subtask 3.1: Prepare Draft Master Plan Alternatives

The initial exploration of master plan alternatives will provide different creative combinations and configurations of the park elements identified in the programming exercise. We will provide a minimum of three unique alternatives, based on the framework planning provided by the earlier analyses. Each of the alternatives will accomplish the core project vision and objectives.

We have included BWBR on our team to provide "institutional knowledge" given their previous experience with the site. They will also assist with the exploration of potential architectural solutions for enhancing pedestrian connections and creating a unified campus. This could include covered or partially protected walkways, structured parking facilities, or other architectural components that have not yet been envisioned.

Subtask 3.2: Prepare Draft Cost Estimates

As another factor in the evaluation of the draft master plan alternatives, we will prepare draft order of magnitude estimates of construction cost. We will also evaluate the relative costs of retaining versus relocating/rebuilding higher cost items.

Subtask 3.3: Prioritization Exercises

With the draft master plan alternatives as an illustrative picture of what could be, we will also work through a series of fiscally constrained prioritization exercises to focus the discussion and the design on the priority elements. We have successfully completed similar exercises on recreational projects using a variety of interactive processes, ranging from simple "dotmocracy" techniques to more sophisticated



Portions of the existing ballfield areas may be repurposed to create additional complementary facilities.

online tools. We will work with City staff to determine the best prioritization tools for this project to balance the needs of various groups.

Subtask 3.4: Third Stage Consultation

The third stage in the consultation process will continue to engage the Working Group, City Council, and Park and Recreation Commission and the public as we seek input on the draft master plan alternatives.

Task 3 Deliverables

- Draft Master Plan Alternatives
- Working Group Meetings (2)
- · Council Meeting
- · Park and Recreation Commission Meeting
- Public Open House or Informational Meeting



Our team will refine the master plan that reflects programming preferences and priorities.

TASK 4: Refined Master Plan Alternative

Subtask 4.1: Prepare Refined Master Plan Alternative

Based on the input received from the third stage in the consultation process, we will prepare a refined concept plan that reflects the preferences and priorities. Before refining the concept, we will meet with City staff to confirm the direction for the refinement and resolve any competing directions received through the consultation process.

Subtask 4.2: Prepare Refined Cost Estimate

The previously developed order of magnitude cost estimates will be updated and refined for the master plan concept alternative, or combination of concept alternatives, that is selected for further development.

Subtask 4.3: Prepare Preliminary Phasing Plan

Based on the refined master plan, the outcomes of the prioritization exercises, and professional experience with phasing and construction conflicts and synergies, we will prepare a preliminary phasing plan that aligns with the available funding schedule. If desired elements do not fit within the currently available funding, we will identify them and provide strategies for how they could best be completed in future phases. Knowing that Shoreview Commons Park and Civic Campus is an actively used facility, we will work to minimize disruption and down time in the phasing plan.

TASK 5: Final Master Plan

Subtask 5.1: Prepare Final Master Plan

The final Master Plan document will synthesize the process into a final bound product. The document will include an introduction and overview of the process, a summary of the community engagement and input, the graphic master plan, and an implementation and action plan.

Subtask 5.2: Prepare Final Master Plan Cost Estimates

A detailed opinion of probable cost at the final master plan stage will provide estimates for each line item for unit price bid schedules, and estimates for each specification division for lump sum items.

Subtask 5.3: Prepare Final Phasing Plan

The final phasing plan will clearly establish the items to be constructed by year for the initial 3 to 5 years, as well as any items that may remain for future phases.

Subtask 5.4: Consultation

The final stage in the master plan consultation process will present the final master plan to the Park and Recreation Commission and City Council for approval or acceptance of the plan.

Task 5 Deliverables

- Working Group Meeting (1)
- · Park and Recreation Commission Meeting
- · City Council Meeting
- · Final Master Plan document and graphics in electronic format
- Master Plan Board (30"x42") mounted for display (3 copies)

Qualifications

Parks and recreation spaces have an unlimited potential to improve individual health, strengthen our communities, and protect our environment. We believe parks and recreation are an essential community service and that is why we always design with community in mind. We do this because we're a part of the community too, and we care about the places where we live and play as much as you do.

Because trends in recreation are dynamic and ever-evolving, planning must provide for natural and recreational resources that will grow and adapt organically as community demographics and attitudes change over time. We specialize in developing plans that foster a connection with the earth while providing opportunities for healthful activities all generations can enjoy.

Stantec

Park and Recreation Expertise

Stantec provides comprehensive park and recreation planning, design, and program management services. Our approach to developing parks and open space systems is **comprehensive and integrated**, allowing communities to achieve their recreational goals while balancing high performance design, environmental stewardship and fiscal realities.

Through professional and technical experience, we turn ideas into reality, inspiring solutions that enable our clients to optimize existing sites and develop new parks and open space systems that integrate seamlessly into the community fabric. The results are spaces that stimulate the imagination, creating a vibrant and enriching experience for park users.

Because we are committed to providing appropriate due-diligence, insightful planning, creative design, and innovative solutions, we are able to transform our client's vision and goals into functional and innovative parks and open space systems that add value and fulfill the public need for interaction and socialization.

Successful parks provide a mechanism to bridge diverse communities, promote active lifestyles, and enrich neighborhoods. With a roster of **comprehensive** services, we are able to support our clients at every stage, from initial concept to project completion and beyond.



Stantec has planned and developed park and open space facilities in more than 50 Minnesota communities.



Stantec has planned and designed eight ice ribbons in the last eight years.

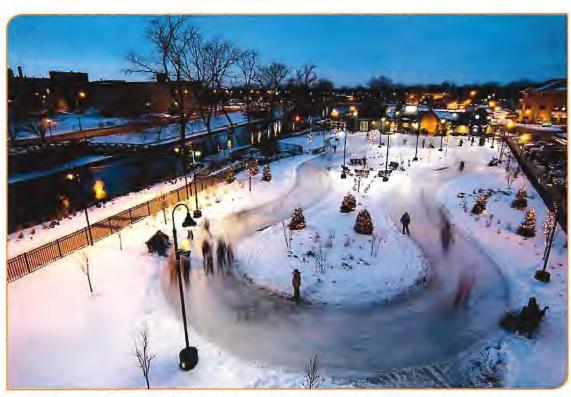
Community outreach is an essential element in our work. We listen carefully and work collaboratively with our clients and the local communities to bring their vision to reality. We make recreation fit into the neighborhood fabric.

We take pride in delivering **practical**, **implementation-driven plans**. With a comprehensive understanding of how tools and strategies work on the ground, our plans are structured to provide accurate cost estimates and timelines, and prevent regulatory roadblocks.

Our experts are not only dedicated to park and athletic facility design, but also ecosystem design, and environmental preservation. By re-creating or restoring environments with energy, environmental, and water resources in mind, we design responsibly, and provide educational opportunities for those who visit these areas.

Ice System Design

Since 1974, Stantec has completed over 200 ice projects in 40 states and provinces throughout North America. Our range of projects includes everything from small mountain resort rinks, to community based arenas, to large outdoor/indoor skating venues. As industry leaders, we understand the importance of staying engaged with the ice community. We are a corporate member of many key industry associations such as the National Park and Recreation Association and the American Society of Heating, Refrigerating and Air Conditioning Engineers. Stantec has expertise designing new facilities and renovating existing ones, focusing on finding a feasible operationally efficient solution for the owner.



Stantec designed the NIBCO Ice and Water Park, the first multi-use ice ribbon park in the United States. Another of our designs, the Central Park Ice Ribbon in Maple Grove is currently under construction.

Action Sports Design

In addition to more traditional facilities such as stadia, multi-purpose fields (natural and synthetic), baseball fields, soccer fields, running tracks, tennis courts, and basketball facilities, Stantec also specializes in creating exciting venues for adventurous users, including skate parks, BMX parks, and other wheeled and non-wheeled extreme sports.

Stantec's Sport Design Group is comprised of athletes turned landscape architects and civil engineers. Our dedicated designers have extensive experience in designing and constructing outdoor athletic facilities and we utilize innovative technology to ensure efficient and cost-effective construction methods. We are committed to serving a variety of client types including preparatory and collegiate academic institutions, municipal clients, and professional sports franchises.

Connection and collaboration are our culture. We understand how to bring different teams together, and we relish the opportunity to transform challenging assignments into breakthrough work for our clients.

Our staff has successfully worked on more than 200 action

sports

projects.

Full Service Design Capabilities

We are prepared to bring Shoreview's dreams to reality with full-services capability:

- Feasibility studies
- Master planning
- Site selection
- Community consensus
- Design simulation
- Branding & identity

- · Revenue generation programs
- Site & environmental permitting
- Design documentation
- · Bidding services
- · Construction administration
- Project closeout & commissioning



Stantec's Kanten Russell, former professional skateboarder, has designed more than 75 action sports facilities, including the Poplar Bluff Skate Plaza shown here.

Maggie Daley Park Ice Ribbon CHICAGO, ILLINOIS

Stantec designed a refrigerated ice ribbon that winds through the park landscape and provides a new winter recreational destination on Chicago's downtown waterfront.

This unique outdoor adventure facility has become a premiere destination. Everyone knows Chicago is a fun regional destination during the summer, but what happens when the Midwestern winter hits? Looking to make Maggie Daley Park an attraction for visitors year round, the Chicago Park District worked with Michael Van Valkenburgh Associates, Inc. with Stantec as the ice consultant to develop a unique vision for the downtown waterfront park.

A quarter-mile ice ribbon (the largest in the US) winds through the park landscape, emulating the form of the adjacent Frank Gehry designed pedestrian bridge. The ribbon features 2-3% grades for additional dimension to the skating experience and blend within the natural contours of the park.

Much of the ribbon is built atop lightweight foam fill to minimize loads on the existing parking structure below the park. Designed for skating from November through March, the system incorporates multiple cooling zones to provide a series of refrigerated segments to relieve stresses induced

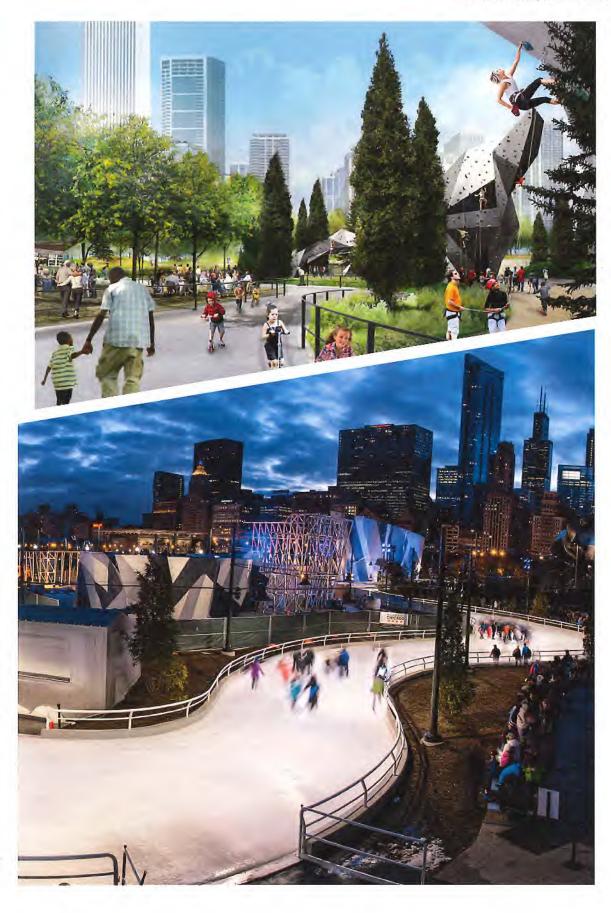
from thermal movements. In the summer, the ice ribbon transforms to a pathway for circulation throughout the park.

A large centrally located, environmentally friendly refrigeration plant that uses downtown cooling district water for condensing is hidden from view in a mechanical building located within one of three large climbing features used for repelling.

Reference

Mr. Martin Roura
Associate
Michael Van Valkenburgh Associates
231 Concord Avenue
Cambridge, Massachusetts, US 02138
(617) 864-2076
mroura@mvvainc.com





The all-season park features an undulating ice skating ribbon with curves and grade changes in the winter, which transforms into a paved circulation path in the summer that provides access to an imaginative play area and climbing facilities designed by Michael Van Valkenburgh Associates Inc.

Huber Park SHAKOPEE, MINNESOTA

Stantec worked closely with project stakeholders and tackled multiple technical challenges to design an attractive and environmentally enhanced riverfront community park.

This park design overcame environmental and infrastructure limitations.

Stantec provided architecture, landscape architecture, and civil, structural, electrical, and water resources engineering, as well as construction administration for a new downtown gateway and waterfront park on a site that had been under-utilized due to flooding and deteriorating infrastructure. For the design effort, due to the flooding on the site, located along the Minnesota River, the firm mapped the 1-, 5-, 10-, 100-, and 500-year flood elevations and strategically placed the various park features based on that information.

Stantec rebuilt and relocated subsurface utilities to allow for park enhancements and buried existing overhead power lines throughout the site to improve the aesthetics and safety of the park. Park improvements included entry plazas and walkways, performance structure and terraced seating, pavilion building, trail network, community playground, picnic areas, and parking and roadways.

Stantec also assisted the City of Shakopee in relocating a boat launch to the opposite side of the river, reconstructing an alley adjacent to the park, and building a new roadway to a future archery range. The firm worked with the City and stakeholders to obtain

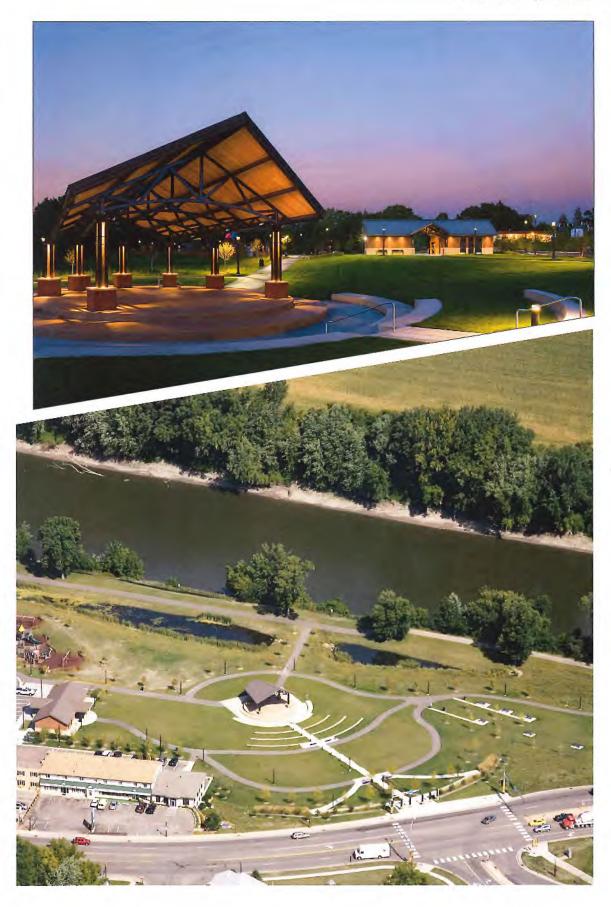
Federal Recreational Trails Grant funding to construct a new trailhead and add park lighting.

Open houses, including an ice cream social at a senior living facility, were conducted to develop a vision for the park and review concept layouts. A Design Review Committee, comprised of community stakeholders and City staff, provided additional direction. Stantec listened carefully to ideas and concerns and addressed these individually, resulting in an attractive and environmentally enhanced park.

Reference

Mark Themig Former Director of Parks, Recreation and Natural Resources City of Shakopee (952) 292-9233





Stantec listened to City staff and community stakeholders and then addressed their concerns and desires when designing a new gateway to downtown Shakopee. This park

provides

all-season

outdoor fun in

a sensory-rich

environment.

Bielenberg Athletic Complex Playground, Splash Pad, and Ice Rink

WOODBURY, MINNESOTA

Stantec provided design and construction services for a recreation area with regional appeal, including an accessible playground, splash pad, ice rink, and entry plaza.

Stantec had previously master planned the Bielenberg Athletic Complex and provided design and construction services for the indoor sports dome, soccer fields, and other amenities.

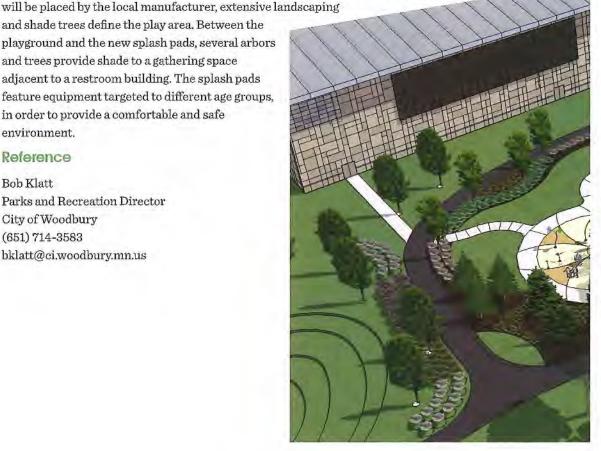
For the next phase of improvements, the multidisciplinary team worked with the City and the Madison Claire Foundation to develop various areas for outdoor fun around the new field house building. These new site amenities include one of the largest fully accessible playgrounds, two splash pad areas, and shared gathering spaces to support the playground and splash pads, a refrigerated outdoor ice rink that serves as a flexible programming area for summer events, and a new entry plaza into the new field house building.

Stantec's landscape architects sought to create a sensory rich, exciting, and educational environment. The landscaped entry plaza to the playground features an extensive butterfly garden. The team designed a playground container with a poured in place unitary surface, featuring a playful flower form. Around the play equipment, which was selected and

and shade trees define the play area. Between the playground and the new splash pads, several arbors and trees provide shade to a gathering space adjacent to a restroom building. The splash pads feature equipment targeted to different age groups, in order to provide a comfortable and safe

Parks and Recreation Director City of Woodbury (651) 714-3583 bklatt@ci.woodbury.mn.us







The new splash pad and playground were integrated into the overall Bielenberg campus, which includes a variety of public facilities.

Encinitas Community Plaza and Skate Plaza

ENCINITAS, CALIFORNIA

The design goal was to integrate the skate park into the community as much as possible - in other words, design a park that you can skate in. By making this project barrier free, ADA accessible, and both pedestrian and spectator friendly, the park will change people's views on what spaces for skateboarding can look like.

This skate plaza balanced the needs of multiple stakeholders. We created a plaza that looks and functions like some of the most popular public plazas across the country, but also functions as a skate park. The community wanted the former brownfield site to resemble an authentic urban plaza, reflecting the city's artistic culture. It had to be a multi-use park, pedestrian friendly and ADA accessible. That's just what we did – using colors and a sunburst paving pattern to reflect the local context as well as creating an urban plaza with specially designed planters, ramps, and platform areas with room for pedestrians, spectators, and skateboarders.

But that's not all. We also had meetings with a Skate Park Core Focus Group, comprised of top skateboarding professionals, the media, and industry. The community wanted

the park to include authentic skate park elements. Balancing

this request with park aesthetics, we designed a separate bowl for skateboarders. Because of our outreach, the project has support from the "Tony Hawk Foundation" and several skateboarding businesses.

Our team provided design services for the Encinitas Community Park Skate Plaza prior to their employment with Stantec. Construction Administration services were provided as Stantec.

Reference

John Frenken Project Manager Encinitas Parks Department (760) 633-2755





Our design team met with the community to design a park with authentic skatepark elements that also reflected the city's artistic culture.

Central Park Ice Ribbon MAPLE GROVE, MINNESOTA

The 900-foot-long ice ribbon will provide a unique ice skating experience expected to enhance park revenues.

An ice ribbon and interactive water feature will provide year-round interest at this central park.

Providing year round activity at Maple Grove's new Central Park resulted in a 900-foot-long 20-foot-wide ice skating ribbon that loops through the park and a complementary 67-jet animated water playground adjacent to the centrally located pavilion building. The ice ribbon provides a unique ice skating experience in Minnesota that is attractive to a wide range of users from beginners to highly skilled and enhances winter use and revenues at this newly constructed park. Modeled after this successful combination of amenities introduced by Stantec originally in the United States at the Elkhart, Indiana NIBCO Ice and Water Park, Maple Grove expects to attract visitors from all over the metro area.

The ice ribbon will provide reliable and high quality refrigerated ice from November through the first week in March. The park will then transition to other park programming but potentially inline skating, vendor booths or just a hanging out space. The nearby interactive water feature in the pavilion plaza will be an active feature during the summer months for water play or just watching and becoming mesmerized to the fully programmed and colorfully animated and lighted water jets.

To maintain the ice, an environmentally friendly ammonia refrigeration plant will be located at the far end of the ribbon including an ice resurfacer storage garage complete with a snowmelt pit for the

grooming operations.

Construction to be completed in late 2015.

convenient disposal of the ice shavings from the ice





Salo Park at Silver Lake Village ST. ANTHONY, MINNESOTA

Salo Park serves as the backbone to the Silver Lake Village redevelopment project. The park organizes the overall site and pulls together the retail and residential areas.

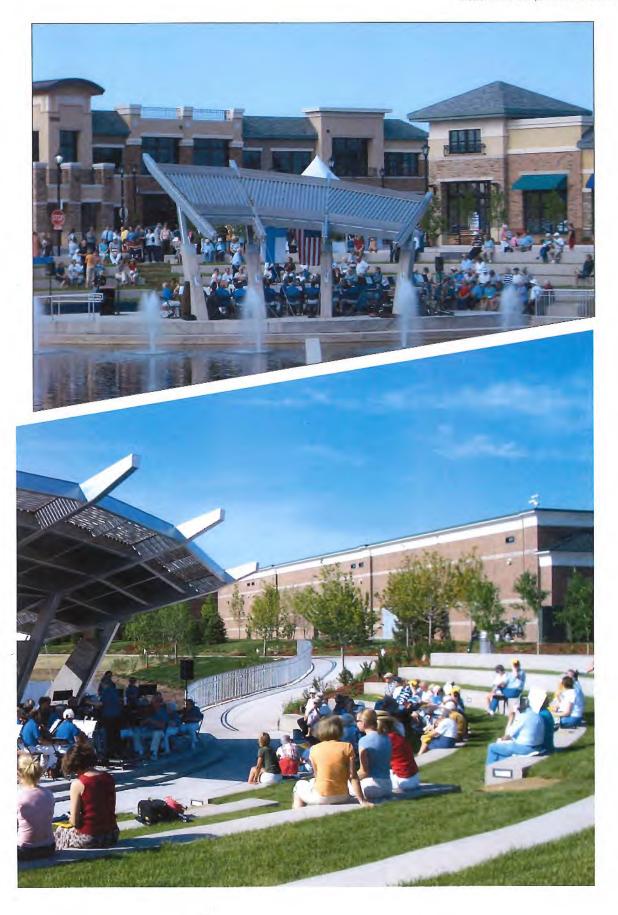
Redevelopment gives a brownfield site a new life as an active and passive park space. Salo Park sits at the heart of 44-acre Silver Lake Village, a brownfield redevelopment on the site of a defunct indoor mall. Silver Lake Village is home to 381,000 square feet of retail space and 732 housing units. Stantec's landscape architects created Silver Lake Village's overarching "Framework Manual."

Salo Park is comprised of two halves, split by the new boulevard. The northern half is a restored savannah landscape surrounding a pond through which a trail meanders. The south half – the active half of the park – also surrounds a pond and is organized around two main use areas.

Nearest the retail main street, the park steps downward to the pond where a grand stage seems to float out onto the water. Above the stage is a bold cable-stayed canopy. In front of the stage is a series of simple, curving concrete seat walls. Together with the architectural overhang, they create an intimate performance space mere steps from the busy retail area. The amphitheater is asymmetrical to accommodate both large performances and intimate readings.







Nicollet Commons Park

BURNSVILLE, MINNESOTA

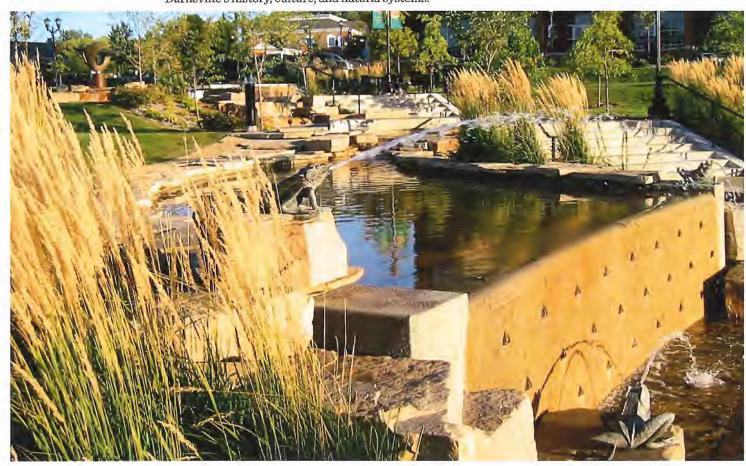
This award-winning town square transformed a tired commercial strip into a vibrant community amenity.

Heart of the City is a bold departure from suburban development patterns built upon neo-traditional principles to transform a tired commercial strip into the 200-acre town center. The project's 54-acre area hosts a traditional compact development pattern and a pedestrian-friendly, mixed-use center of activity.

At the center of Heart of the City is Nicollet Commons Park. This active town square is the focus of Burnsville's civic and cultural activities. It is the primary amenity necessary to attract and retain residents and businesses within the Heart of the City.

The park is a contemporary adaptation of a traditional town square and includes a central stage and amphitheater, perimeter space for farmers' markets, art fairs, sidewalk sales, as well as an interactive water feature, rain gardens, and passive recreation space.

Public art components provide elements of discovery by weaving references to Burnsville's history, culture, and natural systems.













PROPOSED MOTIONS

Moved by Council member								
Seconded by Council member								
•		•	preliminary City tax levy of 100,000 for collection in 2016.					
ROLL CALL: Johnson Quigley Wickstrom Withhart Martin	AYES	NAYS 						
To set a public	budget hearing		mber 7, 2015 at 7:00 p.m. to discuss					
ROLL CALL: Johnson Quigley Springhorn Wickstrom Martin	AYES	NAYS						
Fund Fame								

Fred Espe Finance Director September 8, 2015 Council Meeting TO:

Mayor and City Council

FROM:

Terry C. Schwerm, City Manager

Fred Espe, Finance Director

DATE:

September 1, 2015

RE:

2016 Budget and Preliminary Tax Levy

This report provides information about the truth in taxation process, the recommended preliminary 2016 tax levy, residential property values and the estimated change in residential property taxes.

TRUTH IN TAXATION REQUIREMENTS

For taxes payable in 2016, the State "truth in taxation" (TNT) process is essentially unchanged. The City is required to:

- Certify a preliminary tax levy for the HRA to the County Auditor by September 15.
- Certify a preliminary tax levy and public hearing date for the City to the County Auditor by September 30.
- Announce the date and time for the budget hearing during the Council meeting when the preliminary levy is adopted (a motion is provided for this requirement)
- Hold a public budget hearing at a regularly scheduled Council meeting between November 25 and December 28
- Certify a final tax levy to the County by December 28

Although the City is not required to publish a notice for the budget hearing, Shoreview has continued the practice of publishing a notice for the budget hearing (using a format generally patterned after the old required TNT notices). Staff recommends publishing a similar notice for the 2016 budget.

EDA LEVY

For 2016, the Economic Development Authority (EDA) recommended that the City Council adopt a \$100,000 tax levy for the HRA and a \$110,000 tax levy for the EDA. These levies are included in the attached preliminary levy resolution. Because the HRA levy is considered a special taxing district, the HRA levy is separated from all other levies in the resolution. It is not necessary for the EDA to hold a public budget hearing for their proposed levies, because it is exempt from the public hearing requirement under the Truth in Taxation law.

PRELIMINARY TAX LEVY

At the August 10 workshop meeting the City Council reviewed preliminary levy projections for both operating and capital funds. The TNT process requires the City to adopt a maximum preliminary tax levy which may be decreased prior to final adoption in December.

The table below summarizes the City Manager's recommended tax levy, in comparison to the 2015 adopted levy. When reviewing the areas impacting the total levy (as shown in the column at the far right-hand side of the table), that portion of the levy supporting City services (including the tax supported share of staff costs) results in a 2.91% increase in the tax levy. The remaining .99% increase in the levy is the result of debt, capital replacement funds, capital improvement funds, and the EDA. The increase in the General Fund share of the levy is due to the increase in police and fire contract costs (\$151,245 expense increase for the two contracts combined). The police budget is increasing \$31,575 1.53% over 2015. The fire budget is increasing \$119,670 and includes the final year of additional costs associated with the expansion of the duty crew program that has paid on-call firefighters working different shifts at fire stations. Shoreview's share of costs has also increased due to a rise in the percentage of fire calls which make up 40% of the cost allocation formula. Wage and benefit adjustments for city employees make up \$100,456 of the proposed tax levy increase.

	2015	2016			Change	Impact	
Adopted		Recommended			2015 Adopt	ed Levy	on Total
	Levy		Levy		Dollars	Percent	Levy *
\$	7,023,335	\$	7,321,858	\$	298,523	4.25%	2.91%
	90,000		110,000		20,000	22.22%	0.19%
	752,000		731,000		(21,000)	-2.79%	-0.20%
	950,000		1,000,000		50,000	5.26%	0.49%
	1,427,583		1,475,000		47,417	3.32%	0.46%
	25,000		30,000		5,000	20.00%	0.05%
\$	10,267,918	\$	10,667,858	\$	399,940	3.90%	3.90%
\$	95,000	\$	100,000		5,000	5.26%	
\$	26,673,745	\$	27,870,000	\$	1,196,255	4.48%	
	34.873%		34.917%		0.044%	0.13%	
	0.323%		0.328%		0.005%	1.55%	
\$	965,979	\$	927,390	\$	(38,589)	-3.99%	
\$	9,301,939	\$	9,740,468	\$	438,529	4.71%	
Change in Tax Paid by Prop Owners 3.59% 4.71%							
* Percent change in this column is computed as the impact on the "Total City Levy"							
	\$ \$ \$ \$	Adopted Levy \$ 7,023,335 90,000 752,000 950,000 1,427,583 25,000 \$ 10,267,918 \$ 95,000 \$ 26,673,745 34.873% 0.323% \$ 965,979 \$ 9,301,939 \$ 3.59%	Adopted Red Levy \$ \$ 7,023,335 \$ 90,000 \$ 752,000 \$ 950,000 \$ 1,427,583 \$ 25,000 \$ \$ 10,267,918 \$ \$ 95,000 \$ \$ 26,673,745 \$ 34.873% \$ 0.323% \$ \$ 965,979 \$ \$ 9,301,939 \$ 3.59% *	Adopted Levy Recommended Levy \$ 7,023,335 \$ 7,321,858 90,000 110,000 752,000 731,000 950,000 1,000,000 1,427,583 1,475,000 25,000 30,000 \$ 10,267,918 \$ 10,667,858 \$ 95,000 \$ 100,000 \$ 26,673,745 \$ 27,870,000 34.873% 34.917% 0.323% 0.328% \$ 965,979 \$ 927,390 \$ 9,301,939 \$ 9,740,468 3.59% 4.71%	Levy Levy \$ \$ 7,023,335 \$ 7,321,858 \$ 90,000 110,000 \$ 752,000 731,000 \$ 950,000 1,000,000 \$ 1,427,583 1,475,000 \$ \$ 10,267,918 \$ 10,667,858 \$ \$ 95,000 \$ 100,000 \$ \$ 27,870,000 \$ \$ 27,870,000 \$ \$ 34.873% 34.917% \$ \$ 965,979 \$ 927,390 \$ \$ 9,301,939 \$ 9,740,468 \$ \$ 9,301,939 \$ 9,740,468 \$	Adopted Recommended 2015 Adopted Levy Levy Dollars \$ 7,023,335 \$ 7,321,858 \$ 298,523 90,000 110,000 20,000 752,000 731,000 (21,000) 950,000 1,000,000 50,000 1,427,583 1,475,000 47,417 25,000 30,000 5,000 \$ 10,267,918 \$ 10,667,858 \$ 399,940 \$ 95,000 \$ 100,000 5,000 \$ 26,673,745 \$ 27,870,000 \$ 1,196,255 34.873% 34.917% 0.044% 0.323% 0.328% 0.005% \$ 965,979 \$ 927,390 \$ 438,529 \$ 9,301,939 \$ 9,740,468 \$ 438,529	Adopted Recommended 2015 Adopted Levy Levy Levy Dollars Percent \$ 7,023,335 \$ 7,321,858 \$ 298,523 4.25% 90,000 110,000 20,000 22.22% 752,000 731,000 (21,000) -2.79% 950,000 1,000,000 50,000 5.26% 1,427,583 1,475,000 47,417 3.32% 25,000 30,000 5,000 20.00% \$ 10,267,918 \$ 10,667,858 \$ 399,940 3.90% \$ 95,000 \$ 100,000 5,000 5.26% \$ 26,673,745 \$ 27,870,000 \$ 1,196,255 4.48% 34.873% 34.917% 0.044% 0.13% \$ 965,979 \$ 927,390 \$ (38,589) -3.99% \$ 9,301,939 \$ 9,740,468 \$ 438,529 4.71%

The proposed 2016 preliminary tax levy as shown in the table above is \$43,600 lower than the proposed preliminary levy that was presented to Council at the August 10th Council workshop. The changes include a reduction to the Sheriff's contract (\$19,600) based on a revised contract estimate submitted by the County, and a reduction to the debt levy associated with the public works facility expansion as a result of the 2014 advanced refunding of the bonds (\$24,000).

Preliminary information released by Ramsey County indicates that total taxable value is expected to increase 4.48% for taxes payable in 2016. The change in the tax levy combined with the increase in taxable value results in an estimated .13% increase in the City's tax rate.

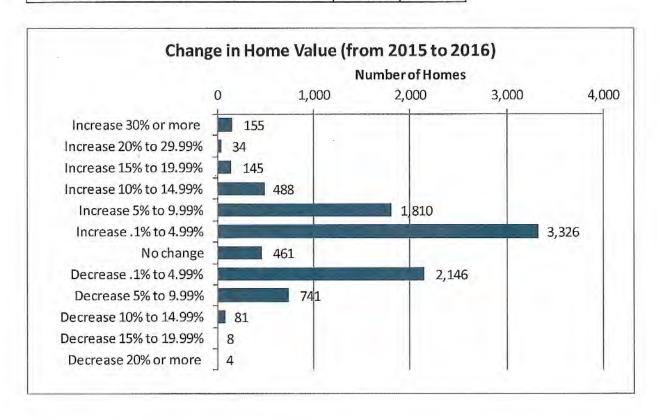
RESIDENTIAL PROPERTY VALUES

According to information provided by the Ramsey County Assessor, the median single-family home value in Shoreview will increase from \$247,500 for 2015 taxes, to \$253,800 for 2016 taxes (a 2.5% increase in value). The table at right shows the change in Shoreview's median single-family home value since 2007.

Change in home values (all	residential)				
			Sub-totals			
	Number	Percent	Number	Percent		
	of Parcels	of Parcels	of Parcels	of Parcels		
Increase 30% or more	155	1.6%				
Increase 20% to 29.99%	34	0.4%				
Increase 15% to 19.99%	145	1.5%				
Increase 10% to 14.99%	488	5.2%				
Increase 5% to 9.99%	1,810	19.3%				
Increase .1% to 4.99%	3,326	35.4%	5,958	63.4%		
No change	461	4.9%	461	4.9%		
Decrease .1% to 4.99%	2,146	22.8%				
Decrease 5% to 9.99%	741	7.9%				
Decrease 10% to 14.99%	81	0.9%				
Decrease 15% to 19.99%	8	0.1%				
Decrease 20% or more	4	0.0%	2,980	31.7%		
Total Residential Parcels	9,399	100.0%	9,399	100.0%		

	Median Home	Annual Percent
Year	Value	Change
2007	279,900	5.6%
2008	286,600	2.4%
2009	275,600	-3.8%
2010	262,200	-4.9%
2011	249,350	-4.9%
2012	235,700	-5.5%
2013	222,200	-5.7%
2014	224,500	1.0%
2015	247,500	10.2%
2016	253,800	2.5%

As shown in the table at left and the graph below, 5,958 homes experience an increase in value, 461 home values remain the same, and 2,980 home values decrease.



IMPACT ON PROPERTY TAXES

The table below provides estimated changes in the City and HRA share of the property tax bill (using the assumptions on page 2 of this report) for a median value home. No information is available yet about the tax levies of other jurisdictions. To put this table into perspective, Shoreview is typically between 20% and 25% of the total tax bill. A description of the change in tax for a median home under each assumption follows the table.

	Market'	Value		City P	ortion		Change	in City	HRA Po	rtio	n of		Change	in HRA
Before	e MVE	Value C	hange	of Prop	erty Tax		Proper	ty Tax	Prope	rty '	Гах		Property Tax	
2015	2016	Before MVE	After MVE	2015	2016	C	ollars	Percent	2015		2016	D	ollars	Percent
\$230,700	\$ 253,800	10.0%	11.8%	\$ 746.98	\$ 835.91	\$	88.93	11.9%	\$ 6.92	\$	7.85	\$	0.93	13.4%
\$241,700	\$253,800	5.0%	5.8%	\$ 788.83	\$835.91	\$	47.08	6.0%	\$ 7.31	\$	7.85	\$	0.54	7.4%
\$247,500	\$253,800	2.5%	3.0%	\$810.80	\$ 835.91	\$	25.11	3.1%	\$ 7.51	\$	7.85	\$	0.34	4.5%
\$267,200	\$253,800	-5.0%	-5.7%	\$ 885.77	\$ 835.91	\$	(49.86)	-5.6%	\$ 8.20	\$	7.85	\$	(0.35)	-4.3%
\$282,000	\$253,800	-10.0%	-11.4%	\$941.92	\$ 835.91	\$	(106.01)	-11.3%	\$ 8.72	\$	7.85	\$	(0.87)	-10.0%

- 10% increase in value City taxes increase \$88.93 and HRA taxes increase \$.93 for the year
- 5% increase in value City taxes increase \$47.08 and HRA taxes increase \$.54 for the year
- 2.5% increase in value City taxes increase \$25.11 and HRA taxes increase .34-cents for the year
- 5% decrease in value City taxes decrease \$49.86 and HRA taxes decrease .35-cents for the year
- 10% decrease in value City taxes decrease \$106.01 and HRA taxes decrease .87-cents for the year

SUMMARY

As stated on the first page of this report, staff recommends the City continue its practice of holding a budget hearing at the first regular meeting in December, and consider adoption of the levy and budget at the second meeting in December.

Staff recommends adoption of the attached proposed resolution setting the preliminary tax levy in the amount of \$10,667,858 and \$100,000 for the City and HRA respectively. Staff also recommends setting the budget hearing for the first regular Council meeting in December by approving the attached motion.

As in the past, once the preliminary levy is adopted the Council may decrease the levy, but may not increase the levy at the time of final adoption.

EXTRACT OF MINUTES OF MEETING OF THE CITY COUNCIL OF SHOREVIEW, MINNESOTA HELD SEPTEMBER 8, 2015

	nuce thereof, a meeting of the City	,
Minnesota, was duly called	and held at the Shoreview City Ha	I in said City on September 8, 2015 at
7:00 p.m. The following m	embers were present:	; and the following
members were absent:	•	
Council member	introduced the following	g resolution and moved for its adoption.

RESOLUTION NO. 15-78 RESOLUTION CERTIFYING THE PROPOSED TAX LEVY FOR FISCAL YEAR 2016 COMMENCING JANUARY 1, 2016 BASED UPON THE REQUIREMENTS OF THE 2015 TAX LAW;

WHEREAS, Current tax law requires special taxing districts (HRA) and cities over 500 population to certify a proposed tax levy to the County Auditor by September 15 and September 30 respectively, and;

WHEREAS, the Finance Director has prepared a preliminary budget for the fiscal year 2016 based upon the requests of departments, the requirements of the 2015 tax law, and the recommendation of the EDA, and;

WHEREAS, the City Manager has recommended a proposed tax levy to support the recommended 2016 budget, and;

NOW, THEREFORE BE IT RESOLVED by the City Council of the City of Shoreview, Ramsey County, Minnesota that the <u>proposed preliminary</u> 2016 property tax levies for the City and for the HRA is as follows:

General levy	\$7,321,858
EDA	110,000
Capital funds	2,505,000
Sub-total General levy	\$9,936,858
Debt levy	731,000
Sub-total City tax levy	\$10,667,858
HRA levy	\$ 100,000
Total Certified Levy	<u>\$10,767,858</u>

Page 2 September 8, 2015 Resolution 15-78 2016 Proposed Tax Levy

BE IT FURTHER RESOLVED, that 1) this proposed tax levy resolution is being submitted by the City in accordance with Minnesota Statutes; 2) the City Council of the City of Shoreview may reduce this levy prior to final adoption, but may not increase the final levy over the amount specified in this resolution; and 3) the resolution represents a good faith effort by the City to substantially comply with applicable law and the guidance supplied by the Department of Revenue and Ramsey County.

The motion for the adoption of the foregoing resolution was duly supported by Council membe	r
and upon vote being taken thereon, the following voted in favor thereof:	; and
the following voted against same:	

WHEREUPON, said resolution was declared duly passed and adopted this 8th day of September 2015.

Proposed Motion

MOVED BY COUNCILMEMBER	
SECONDED BY COUNCILMEMBER_	

Adoption of Ordinance No. 934, Rezoning from R-1, Detached Residential to PUD, Planned Unit Development, and approve the PUD Development Stage for the proposed construction of a new Shoreview Regional Library by Ramsey County, in accordance with the following findings and conditions:

Rezoning

Approval of the rezoning request for the properties included in the project (4570/4560 Victoria Street and 805/795 Highway 96) from R-1, Detached Residential, to PUD, Planned Unit Development, is based on the following:

- 1. That the proposed rezoning is consistent with the policies of the Comprehensive Guide Plan and with the general purpose and intent of the development regulations.
 - The proposal is consistent with the Comprehensive Plan designation of the properties for Institutional uses, and complements the other public uses with the Shoreview Commons.
- 2. That the development facilitated by the proposed rezoning will not significantly and adversely impact the planned use of the surrounding property.
 - The proposed rezoning is consistent with the public uses of the Shoreview Commons civic campus and will not adversely impact surrounding properties, but instead the development of a new regional library will positively benefit and serve the community.
- 3. The developer is willing to enter into a rezoning/development agreement with the City.
 - As a condition of approval, Ramsey County will be required to enter into a development agreement with the City.

PUD – Development Stage

Approval of the PUD Development Stage request for the new Shoreview Library, as the project satisfies the development review criteria for a Planned Unit Development in meeting the following objectives:

- 1. Complies with the Comprehensive Plan designation of Institutional.
- 2. Uses architectural enhancements in the building design that meets and exceeds the City's design standards.

- 3. Green building techniques will be incorporated into the overall building design, and the project includes sustainable goals for elements such as water, energy, building materials, and indoor air quality.
- 4. Development via the PUD process is desirable to insure compatibility with adjoining land uses and provides flexibility in site and building design.

and the approval is subject to the following conditions:

- 1. Submittal and approval of a subdivision plat prior to the completion and occupancy of the new regional library.
- 2. Execution of all related cooperative agreements between the City and County for the development including land transfer, shared access and easements, and property maintenance.
- 3. Approval of the final grading, drainage, utility, and erosion control plans by the Public Works Director, prior to submittal of the Final Plat and PUD Final Stage applications.
- 4. The PUD Final Stage plans shall address the recommendations and conditions stipulated in the memorandum from the Public Works Director and City Engineer, including stormwater management and tree replacement plans.
- 5. The County shall secure a permit from the Ramsey Washington Metro Watershed District prior to commencing any grading on the property.
- 6. The applicant is required to enter into a Site Development Agreement and Erosion Control Agreement with the City. Said agreements shall be executed prior to the issuance of any permits for this project.

VOTE:	AYES:	 NAYS:	
Johnson			
Quigley			
Springhorn			
Wickstrom		•	
Martin			

City Council Meeting September 8, 201

Memorandum

To: Mayor and City Council Members

City Manager

From: Tom Simonson

Assistant City Manager and Community Development Director

Date: September 3, 2015

Re: New Ramsey County Regional Library – 4560 Victoria Street North (new address)

Rezoning (Planned Unit Development-PUD) and PUD Development Stage

Case File No. 2588-15-31

Introduction

Ramsey County is seeking City of Shoreview approval of a Rezoning and Planned Unit Development (PUD)-Development Stage applications for the proposed construction of a new regional library to replace the existing facility within the Shoreview Commons civic campus.

Background

Ramsey County is pursuing the construction of a new regional library to replace the existing Shoreview Library in the Shoreview Commons area (see below). The County and City have purchased the residential properties at 805 and 795 Highway 96, respectively, to accommodate the potential construction of a completely new library facility near the northeast corner of Highway 96 and Victoria Street.



The project originally entailed the renovation and expansion of the existing library building, but the County determined that it was more desirable and cost-effective to construct a new facility that could better serve the modern needs of the public and library operations. While the County pursued planning for a new building south of the existing library, they also explored potential options for the re-use of the current facility and communicated with the City on prospective tenants that would best fit with the civic campus. In accordance with the original deed restrictions back in 1991 when the City conveyed the land for the current library, the City Council formally declined the City's purchase of the building and consented to the sale to the Mounds View School District No. 621. Ramsey County now has an agreement with District 621 for a lease-purchase of the existing library building to relocate their school administrative offices from the Snail Lake Education Center upon completion of the new library.

This project is the last component of the Ramsey County Library System's 2008 Master Plan to upgrade the library facilities that serve the suburban areas. The master plan identified the need for an added regional library to serve patrons in the northern section of Ramsey County. The proposed new Shoreview Library will provide additional resources and services (including expanded hours of operation) for the community beyond those offered in the present library building. The Ramsey County Library system would then have three regional level libraries in Maplewood, Roseville, and Shoreview among other smaller satellite facilities to serve the suburban county area.

In July, Ramsey County presented the site and building concept plans at both a community meeting and also to the City Council at workshop meeting. While most were very supportive of a proposed regional library, there were some concerns expressed about the project design especially with the architectural materials/color scheme and visual impacts of the building being close to both Highway 96 and Victoria Street.

The Library project team reviewed a number of options on the building design and site layout in response to concerns expressed by the City Council and the public. The County's design team explored a two-story option but determined that this would impact contemporary library programming, create functionality issues, and staffing inefficiencies. The City Council was also informed that a two-story design would impact the project cost, and not significantly reduce the building footprint.

While the building site location and internal library operations are limiting factors in major redesign options, the architect made a number of revisions to site and building design elements, including a significant change in the building materials to better complement the other public buildings on the Shoreview Commons campus. The revisions, incorporated with the plans now submitted for formal approval, were presented to the City Council at a special workshop meeting on August 3rd. The Council felt that the modifications addressed many of the concerns and were favorably received, with recognition that there are site limitations.

While there has been substantial planning and actions leading up to this final phase of their capital improvements master plan, the new Shoreview Library is now moving forward on an aggressive schedule by the County in order to meet critical deadlines relating to both the construction, financing, and sale of the existing building to the school district.

The County is pursuing a design-build process for the Shoreview Regional Library, and has hired HGA Architects along with Adolfson & Peterson Construction for the project. According to Ramsey County officials, the schedule calls for site work to begin by October, 2015. The existing

library would continue to operate throughout the construction until closing in December, 2016 to move materials over to the new regional library for opening in January of 2017. It is expected that the Mounds View School District would take possession of the existing library building in early 2017, and then proceed with their plans for tenant improvements.

Project Description

The new Shoreview Library is being designed as a regional library, and will include public library service area, community space, and administrative offices for the overall County Library system (currently located in the existing library).

Rezoning. The proposal is to rezone the properties included in the project (4570/4560 Victoria Street and 805/795 Highway 96) from R-1, Detached Residential, to PUD, Planned Unit Development. While public, quasi-public, and institutional uses are allowed in residential zoning districts, the City has recommended this rezoning to PUD to recognize the unique public uses within the Shoreview Commons campus and the flexibility required for this development project. It is the City's intention to eventually incorporate the Community Center/City Hall and other park area of the 40-acre Shoreview Commons into an overall PUD.

Site Layout. The building would be located at the corner of Highway 96 and Victoria Street, positioned to face towards the Shoreview Community Center, with a new parking lot area of 75 parking spaces accessing from the internal drive of the Shoreview Commons campus. There will be a book drop-off drive on the north side of the new library that will access from Victoria Street and connect to the existing library (future school district) parking area.

Dating back to their feasibility study, the County project team determined the best site design would be to locate the building at the corner nearest the Highway 96/Victoria Street intersection. Locating the Library on the corner provides for an attractive "statement" building, with great visibility, views of the open spaces to the south, and connects to the Community Center in its orientation. Conversely, by locating the building west on the property closer to the Community Center, requires the parking along Victoria Street and the building entrance facing away from the campus. A long-time criticism of the current library building is that it faces west and does not create a visual connection to the Community Center.

Parking/Traffic. The County believes the on-site parking proposed is sufficient for handling typical daily activity, in part, based on experience with their other facilities. Additionally, Library staff will park off-site, on the County's Ice Arena property across Victoria Street. About 20 spaces will be required for this staff parking during daytime and evening hours. At present, the Library staff uses a portion of the Community Center parking lot through an agreement with the City.

According to the County, the new regional Shoreview Library will offer about 12 programs each year that will attract a large group response. Nearly all of these events will likely be scheduled during the daytime on weekdays. These popular events could attract upwards of 150 vehicles to the Library site, therefore, additional accommodations have been considered to address these special events.

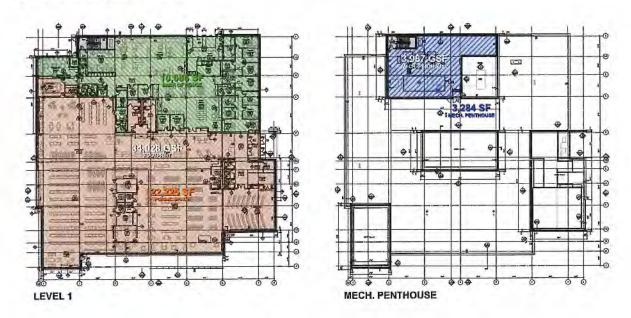
The new library will provide a public area that is about 20% larger than the existing public library floor. The library administration and technical services areas are being sized for existing staff, with no expectation of a staff increase. While the County anticipates an increase in activity with more study rooms and a larger community room available in the new building, this

should not significantly impact traffic levels on the civic campus other than on the dozen or so large-event programs they have estimated.

The future Mounds View School District property will provide 74 parking spaces in their Victoria-fronted lot. School District staff will require about 20 parking stalls on a regular basis. Visitors to the School District offices could account for a few additional spaces. In conversations between the School District and the Ramsey County Library, the concept of shared parking between the District and the Library was offered by the District. This would mean that up to 50 parking spaces on the District's upper lot could be available to Library visitors coming for special-event Library programs. In the case of a 150-vehicle Library event, the Library's 75 parking spaces could be supplemented with 50 school district spaces, leaving the remaining 25 vehicles to park in the Community Center parking lot between the City complex and the Library.

Coordination of other special event parking needs will be required by the School District, City, and Library, to best manage special event parking accommodations. There will be some anticipated parking benefits to City special events and weekend/evening Community Center functions where the existing parking lot becomes full. The new parking area could be utilized for overflow parking when the library is not open for business.

Building Design. The proposed Library will be a modern designed facility of approximately 38,000 square feet. The actual building footprint is 34,000 square feet (the main level, 22,225 SF of floor is public space and 10,686 SF of library staff, library technical services, administration space, and building services), with an additional small 4,000 square foot penthouse space. Consisting of a one-level layout, the flat-roof building is designed to provide taller areas with large glass features to create both natural light and dramatic views. The one level rectangular building shape is important to the functionality of library operations, but also provides program space flexibility in the future.



The proposed exterior is a primarily a combination of glass and brick, with differing textures and brick accents that will complement existing materials found on the other facilities in the campus, such as the current Library, Community Center/City Hall, and the recently renovated Maintenance Center. The County is also voluntarily following the Minnesota Sustainable Building Guidelines, which focuses on sustainable goals for elements such as water, energy, building materials, and indoor air quality.

The building entrance will face to the east towards the Community Center, with a small plaza and walk-through connection that links around to the parking area of the existing library (future school district) building. There is another plaza area off the building towards the south nearer Highway 96 that will serve as an outdoor area associated with library internal spaces and programs.

Staff Review

The following is a summary of what staff has identified as the primary issues relating to the Shoreview Library development plan:

Site Integration. The addition of a new regional library into the Shoreview Commons, especially as proposed with access internal to the campus, will require analysis of traffic flow and pedestrian safety and could lead to some additional site improvements on the Community Center property. Staff believes that any modifications to traffic flow and/or improvements along the internal campus drive would not significantly alter the current proposed site design for the Shoreview Library project.



The City is currently in the process of seeking professional services for the development of a new comprehensive master plan for the Shoreview Commons civic campus and park area. The first priority for the professional firm hired by the City for the Shoreview Commons master plan will be to conduct an analysis of the campus and provide recommendations on possible

improvements for access, internal traffic flow, parking layout, and pedestrian movements. There may be opportunities to also improve pedestrian access to the new library via internal walks, which will be studied when the City undertakes an update of the Shoreview Commons master plan. The City will need to engage both the County Library and School District 621 in the study process.

Setback Deviations. Both the proposed parking and building layout on the site requires deviations to the standard setback requirements, which can be allowed without variances through the PUD process. The City's development regulations do not have specified setbacks for public/institutional type developments, the following shows the difference in the proposed setbacks for the building and parking lot areas as compared to the general setback standards:

- → Building setbacks
 - Front (Highway 96) 3.4 feet (standard is 50 feet)
 - Side (Victoria) 10.7 feet (standard is 30 feet)
- → Parking setbacks
 - Front (Highway 96) 5.6 feet (standard is 20 feet)
 - Side (East edge of site) 0 feet (standard is 20 feet)*
- * The agreement with the City is to allow for a portion of the new parking lot to be located on the City-owned well house property through an easement agreement

Stormwater Management. The property for the regional library is technically located within the Rice Creek Watershed District (RCWD), but all the drainage flows towards the east crossing the boundary into the jurisdiction of the Ramsey-Washington Metro Watershed District (RWMWD). Through an agreement with RCWD and the County, the project will be permitted through the RWMWD. The stormwater management plan will need to comply with the RWMWD guidelines for rate and quality control, and will involve coordination with the City as the project is located within the Shoreview Commons campus. Comments and recommendations from the Public Works Director and City Engineer on the proposed development are included with this report.

Tree Replacement/Landscaping. As the development plans show, there will be a significant loss of trees to accommodate the Library project. The City's Natural Resources Specialist has walked the development site with the County representatives, and identified the health of each of the landmark trees that will be removed. Landmark trees are defined in City Code as 15" or greater diameter for the tree species on this site. Of the 40 landmark trees impacted by the development, 26 were determined to be in healthy condition, while another 14 were found to be unhealthy (defined by canopy die-back, broken trunk, fungus indicating decay, structural deficiencies, or dead). The City has requested that the submitted Vegetation and Woodlands Plan be revised to correct several inaccuracies regarding tree sizes and reflect the findings of the field survey. The County will be required to provide tree replacements in accordance with the City's regulations, which will be determined once the plan is updated.

Subdivision. The County is in the process of preparing a subdivision plat that will combine the two residential lots with the south portion of the existing library property into one parcel and create another parcel that will define the property that will be sold to the school district. A preliminary drawing of the two proposed lots is included with this report.

The remainder of the Shoreview Commons was formally platted when the Community Center was built. The preliminary plat is expected to be presented to the Planning Commission for review at their September meeting. The approved plat will be recorded along with the shared

access, property conveyance, easements, and shared access and maintenance agreements that will be executed between the City and County.

Signage. No signage plans have been submitted at this time, but the County will be working in conjunction with the City in reviewing and developing a plan for joint identification signage for the campus. While the proposed plan shows the retention of the City's digital message center sign, the City and County will be looking at possible design changes and/or relocation for this monument. The modified or new entry monument would likely incorporate the new library and school district office identifications on the sign. The City has engaged the services of the Lane Design Group, the sign consultant that created the entry monument sign designs, to assist in the review of necessary modified or new campus signage.

The County indicates at this time in the development phase, the exterior signage that has been discussed but not yet finalized are large-scale architectural letters to be used vertically on the entry elevation of the building spelling out "LIBRARY". Directional signage for book drop users is also anticipated, in addition to the customary parking signage that will appear in the new front parking lot.

Public/Agency Comments

As noted, both the proposed Rezoning and PUD Development Stage requests require a public hearing, and legal notice was published in the local newspaper. Property owners within 350 feet of the development site were also notified of the request. To date, the City has not received any written comments from the public.

The Fire Marshal from the Lake Johanna Fire Department has reviewed the plans and had no comments/concerns, but will be reviewing the building construction plans during the building permitting process.

The Ramsey County Traffic Planner also had no comments since the project will be served through the internal access and driveway in the Shoreview Commons.

Planning Commission Review

The Planning Commission held a public hearing and considered the proposal at their meeting on August 25th. After considerable discussion, the Commission voted 5 to 2 to recommend to the City Council approval of the plan. Most of the discussion involved concerns with the setbacks of the proposed building, especially from Victoria Street. Many questions and issues were raised that had been previously identified as concerns by the City Council when reviewing the plans. Commissioners in favor recognized the site limitations and library design needs create an intense development, but the quality design will make for an attractive gateway into the Shoreview Commons. A draft extract of the minutes from the Planning Commission meeting is included with this report.

In response to concerns expressed by both the Council and Planning Commission regarding the proposed building setback from Victoria Street, City staff asked the County project team to evaluate the possible shifting of the building to the east with the parking lot encroaching further onto the City-owned property where the well-house is located. The County determined that such a repositioning of the parking lot and building by approximately 10 feet to the east would result in serious impacts to the site plan, and cannot be supported. The County has provided a summary of the potential adverse impacts in a correspondence and graphic included for your review with this report.

Recommendation

Staff believes that while there are site constraints and design requirements that result in some deviations to development standards, the community benefits of a new regional library facility to serve the public far outweigh the impacts. The addition of the Shoreview Library and School District administration are consistent with the public uses of the Shoreview Commons, which serves as social, recreational, and civic gathering place for the community. Staff is recommending the City Council approve the Shoreview Library project presented by Ramsey County, subject to the following findings and conditions:

Rezoning

Adoption of Ordinance No. 934, approving the rezoning request for the properties included in the project (4570/4560 Victoria Street and 805/795 Highway 96) from R-1, Detached Residential, to PUD, Planned Unit Development, based on the following:

- 1. That the proposed rezoning is consistent with the policies of the Comprehensive Guide Plan and with the general purpose and intent of the development regulations.
 - The proposal is consistent with the Comprehensive Plan designation of the properties for Institutional uses, and complements the other public uses with the Shoreview Commons.
- 2. That the development facilitated by the proposed rezoning will not significantly and adversely impact the planned use of the surrounding property.
 - The proposed rezoning is consistent with the public uses of the Shoreview Commons civic campus and will not adversely impact surrounding properties, but instead the development of a new regional library will positively benefit and serve the community.
- 3. The developer is willing to enter into a rezoning/development agreement with the City.
 - As a condition of approval, Ramsey County will be required to enter into a development agreement with the City.

PUD – Development Stage

Approval of the PUD Development Stage request for the new Shoreview Library, as the project satisfies the development review criteria for a Planned Unit Development in meeting the following objectives:

- 5. Complies with the Comprehensive Plan designation of Institutional.
- 6. Uses architectural enhancements in the building design that meets and exceeds the City's design standards.
- 7. Green building techniques will be incorporated into the overall building design, and the project includes sustainable goals for elements such as water, energy, building materials, and indoor air quality.
- 8. Development via the PUD process is desirable to insure compatibility with adjoining land uses and provides flexibility in site and building design.

and the approval is subject to the following conditions:

7. Submittal and approval of a subdivision plat prior to the completion and occupancy of the new regional library.

- 8. Execution of all related cooperative agreements between the City and County for the development including land transfer, shared access and easements, and property maintenance.
- 9. Approval of the final grading, drainage, utility, and erosion control plans by the Public Works Director, prior to submittal of the Final Plat and PUD Final Stage applications.
- 10. The PUD Final Stage plans shall address the recommendations and conditions stipulated in the memorandum from the Public Works Director and City Engineer, including stormwater management and tree replacement plans.
- 11. The County shall secure a permit from the Ramsey Washington Metro Watershed District prior to commencing any grading on the property.
- 12. The applicant is required to enter into a Site Development Agreement and Erosion Control Agreement with the City. Said agreements shall be executed prior to the issuance of any permits for this project.

STATE OF MINNESOTA COUNTY OF RAMSEY CITY OF SHOREVIEW

ORDINANCE NO. 934

AN ORDINANCE AMENDING THE CITY OF SHOREVIEW OFFICIAL ZONING MAP REGARDING PROPERTIES LOCATED AT 4570/4560 VICTORIA STREET AND 805/795 HIGHWAY 96

The Shoreview City Council ordains that the Official Zoning Map adopted March 2, 2009 and effective March 11, 2009 are hereby amended as follows:

SECTION 1. Ramsey County initiated a rezoning from R1, Detached Residential to PUD, Planned Unit Development, for the following legally described property:

(NEW PLATTED LOT/BLOCK DESCRIPTIONS TO BE INSERTED)

4570/4560 VICTORIA STREET AND 805/795 HIGHWAY 96

SECTION 2. The procedural history of this rezoning is as follows:

- 1. This rezoning was initiated pursuant to Section 203.052 of the Shoreview Development Ordinance adopted April 16, 2001 and effective May 9, 2001.
- 2. The Shoreview Planning Commission held a public hearing on August 25, 2015. Notice therefore was published and mailed pursuant to law. All persons present at said meeting were given an opportunity to be heard and present written statements. The Commission also considered the recommendation of the City staff, and voting to recommend to the City Council approval of this rezoning.
- 3. This rezoning was considered and approved by the Shoreview City Council on , 2015.

SECTION 3. Section 205.010(A)(1) of the Shoreview Development Ordinance adopted April 16, 2001 and effective May 9, 2001 is hereby amended to add the following Subsection (a).

(a) Zoning Map Revision The Shoreview Zoning Map, adopted on March 2, 2009, is hereby revised to indicate that the above-described properties have been rezoned from R1, Detached Residential to PUD, Planned Unit Development.

SECTION 4. Approval of zoning amendment is on the basis of the following findings of fact:

1.	That the proposed rezoning is consistent with the policies of the Comprehensive Guide Plan and with the general purpose and intent of the development regulations.
	The proposal is consistent with the Comprehensive Plan designation of the properties for Institutional uses, and complements the other public uses with the Shoreview Commons.
2.	That the development facilitated by the proposed rezoning will not significantly and adversely impact the planned use of the surrounding property.
	The proposed rezoning is consistent with the public uses of the Shoreview Commons civic campus and will not adversely impact surrounding properties, but instead the development of a new regional library will positively benefit and serve the community.
3.	The developer is willing to enter into a rezoning/development agreement with the City.
	As a condition of approval, Ramsey County will be required to enter into a development agreement with the City.
<u>Ad</u>	option Date. Passed by the City Council of the City of Shoreview on theday of, 2015.
	ective Date. This ordinance shall become effective the day following its publication in the y 's official newspaper.
Pu	blication Date. Published on the of 2015.

Sandra C. Martin, Mayor

SEAL

County Response to Repositioning Building (September 2, 2015)

The Shoreview Library Project Team has analyzed the impact of repositioning the new building east of its present location at your request. There are several serious impacts with moving the building to the east 10 feet. These impacts include:

- 1. The entrance drive off the Commons Road would need to be steeper, and as you recall, that existing rise of the drive was considered to be at a maximum;
- The loading dock and book drop would need to move east, and this would eliminate the walk path connecting the existing building's upper parking lot with the entrance to the new building. With that pedestrian way removed, the usefulness of the northeast patio is diminished;
- 3. With the loading dock and book drop moved eastward, the location of the existing mechanical equipment serving the future School District building would be in jeopardy;
- 4. A sizable retaining wall would be required along the east edge of the parking lot, close to the Commons Road. This would visually impact the connection between the Library and the City Hall/Community Center;
- 5. The repositioning of the building would affect the Technical Services processing group, located on the north side of the building, requiring their interior space to be redesigned to accommodate the changes in how the Loading Dock and book drop connect to the building; and finally,
- 6. The changes required by repositioning the building would mean serious re-working of the Design Development documents, which would negatively impact the Builder's schedule in presenting their Guaranteed Maximum Price /GMP to the County. The County's acceptance of the GMP triggers the preparation of construction bid documents for the initial sitework which needs to begin in late October 2015, in order for the Library to open in January 2017, and allow for the existing building be turned over to the School District.

The Project Team considers these impacts to be too adverse to the Project's goals, as they have been internally reviewed with the County, and with our Shoreview neighbors in the Civic Center Commons. We believe the Project as presented to the City Council on August 3rd and to the Planning Commission on August 25th provides the best site solution to support the Library's regional operations as well as positively contributing to the continuing development of the Civic Center Commons.

Attached is a graphic presentation from the Shoreview Library Design Team responding to the impact on the Project of repositioning the new building further east on the site. The additional information includes an annotated Site Plan identifying the various effects of moving the building 10 feet, along with illustrated views of the west facade in its current position, from different viewpoints at the intersection of Victoria and the highway as well as further north on Victoria.





Site Plan – building shift 10' east



View from corner of Victoria Street and Hwy 96



View from corner of Victoria Street and Hwy 96

View from parking lot of ice rink



View from Victoria Street North towards Hwy 96

PLANNING COMMISSION AUGUST 25, 2015 (DRAFT EXCERPT OF MEETING MINUTES)

PUBLIC HEARING – REZONING/PLANNED UNIT DEVELOPMENT DEVELOPMENT STAGE

FILE NO:

2588-15-31

APPLICANT:

RAMSEY COUNTY (LIBRARY)

LOCATION:

4570 VICTORIA, 805/795 HIGHWAY 96

Presentation by Asst. City Manager/Community Development Director Tom Simonson

Ramsey County proposes to build a new regional library on the Shoreview Commons Campus south of the existing facility at the corner of Highway 96 and Victoria Street. The new library would replace the existing one. As a regional library, the Shoreview Library will have expanded hours, programs and services. The County and City each purchased a residential property at 805 and 795 Highway 96. These residential parcels would be combined with the southern parking lot area of the existing library with use of a portion of the City-owned well-house property to create the new library building site. There will be additional agreements required between the City and County for land transfer, access, cross easements and property maintenance.

The City was the original owner of the existing library property. Once the County determined it would be more cost effective to build a new library rather than renovate and expand the existing one, the City granted consent for the existing library to be sold to Mounds View School District.

The application seeks to rezone the two properties from R1, Detached Residential to Planned Unit Development (PUD) and also the Development Stage Review under the PUD. The Comprehensive Plan allows Institutional use on the Commons, and the current R1 zoning of the residential properties allows for public/quasi-public uses. The City supports PUD zoning and recognizes the flexibility needed for the proposed new library and uniqueness of the Shoreview Commons Civic Campus.

The City will be engaging a consulting firm to develop a master plan for the Shoreview Commons. Consideration is again being given to expansion of the Community Center. It is anticipated that the entire campus will be rezoned as PUD in the future. A plat will be submitted delineating the new library site and the existing library site, and is expected to go to the Planning Commission in September.

The County wants to locate the building at the corner and facing the Community Center to be more connected to the Commons Campus. In order to do that, parking for the library will access off the internal Community Center drive. A secondary access to the north of the new building off Victoria Street will be used for a book drop-off. County library staff will use ice arena parking instead of the Community Center lot as they currently do. There will be walkways around the building that connect to the remainder of the Commons. Parking in front of the new library shows 75 stalls, which was increased from an earlier concept. A plaza is planned on the

south for expanded library programs. There is also a plaza area at the northeast corner, which will provide access to the front entry to the new library from the current library parking lot.

The setback of the new building from Highway 96 is between 30 and 40 feet from the building and the right-of-way of Highway 96. The south plaza is between the building and the highway.

The building design is about 34,000 square feet with a single-level layout. Exterior brick accents will be consistent with other public buildings in the Commons. Many glass features bring in natural light.

Staff believes there is a need for continued cooperation among the City, County and School District, in order to integrate this new facility into the Shoreview Commons. A consulting firm will be hired to develop a Commons Master Plan and advise the City on access, pedestrian movements relating to the library plan. This may result in some modifications not shown here, but primarily on the Community Center property.

Setback deviations require PUD flexibility due to the site constraints and the library design needs. The County states that the site and building design mitigate setback impacts.

There will be significant tree loss for this project. Approximately 40 landmark trees will be removed, although some have been identified as needing to be taken out. The County will comply with the City's landmark tree replacement policy. Storm water management will require a permit from Ramsey-Washington Metro Watershed District and coordination with the City. Density increases with the new library. The existing library has 64% lot coverage; the new library will have 81%. The combined parcels will be 72.6%. Staff sees the Commons as a 40-acre park, which may be one perspective in considering density.

Ramsey County will submit a Preliminary Plat at the September Planning Commission meeting. A signage plan is also required and must be coordinated with the City's digital message center. This will require further discussions between the parties.

Notices were sent to property owners within 350 feet of the property and the notice of public hearing was published in the City's legal newspaper. No public comments have been received to date, although the County hosted a well-attended community meeting in July. No concerns were expressed by the Lake Johanna Fire Department, and there are no issues identified by Ramsey County Public Works. There are some right-of-way issues for County library staff to work out with Ramsey County Public Works.

A new regional library is supported by the City. The new regional library and repurposing the existing library for school district use are both complementary to the Commons Campus.

Staff's recommendation is for the Planning Commission to forward a recommendation for approval by the City Council for rezoning to PUD, Planned Unit Development and PUD Development Stage, subject to the conditions listed.

Commissioner McCool asked the City would handle a situation that the Development Stage is approved and then the updated Master Plan for the Commons would recommend a different drive access to the library. He asked if a condition should be added. Mr. Simonson stated that there are a number of land transfers yet to be addressed. He would envision the City would address any Master Plan issues at that time. He does not anticipate many changes from consultants for the library site plan, but more so towards modifications to the Community Center drive and parking lot layout. For example, there may be a need for a right turn lane into the library access drive. Commissioner McCool asked how to prevent the library parking from becoming overflow parking rather than main parking for the library. Mr. Simonson stated that some of it would be signage.

Chair Solomonson asked if there was discussion of having the library administrative staff in the old building rather than in the new building. Mr. Simonson stated that the County has had many discussions. In negotiations the school district indicated the need for the entire library building for their purposes. Chair Solomonson asked if there is any other building in the City with a 10-foot setback from the street and whether it could be moved further east. Mr. Simonson stated that the Council discussed the appearance of the new building on the west side. He added that the closest example in Shoreview would be the Shores senior housing development at County Road D and Lexington or the new Goodwill store being built in Arden Hills. The County believes they have a quality design that lessens the setback impact along Victoria Street. If it were moved to the east, then the back of the building would face the Commons.

Commissioner Peterson asked if future increased parking has been considered for the Community Center, as the parking lot on many days is full. Mr. Simonson stated here will need to be coordination with the County, School District and City for major events. Staff also foresees the Community Center having overflow parking towards the new library, especially on weekend receptions. It is believed that the proposed parking will serve the library needs. The City gains some parking because the library staff and the school district will not be using the back portion. City Attorney Kelly stated that proper notice has been given for the public hearing.

Chair Solomonson opened the public hearing. There were no public comments or questions.

MOTION: by Commissioner Schumer, seconded by Commissioner Doan, to close the public hearing at 10:12 p.m.

VOTE: Ayes - 7 Nays - 0

Commissioner Peterson noted that parking will be used at the ice arena. He asked if the County has any plans for the ice arena. Simonson said there were some discussions of closing the Shoreview Arena when the County acquired the Vadnais Sports Center. The facility is the oldest in the County system, has only one sheet of ice, and requires reinvestment. It now appears according to the County that they will likely retain the Shoreview Arena, and consider improvements to the facility.

Chair Solomonson posed the following questions to County staff:

• Is there a specific size for a regional library?

- With electronic access to books, is there a future need for as much space for libraries?
- Would it be possible to have the administration in the existing library rather than the new library?
- Would it be possible to shift the building to the east?
- Why would reducing the building 10 feet is not possible?
- Could there be an addition to the old building?

Ms. Susan Nemitz, Director of the Ramsey County Public Library, responded to the questions. Public spaces for libraries of more than 30,000 square feet must go to a second story. The proposed library is less than 30,000 square feet. Ramsey County is building large open spaces with flexible walls that can be moved. Libraries are learning centers. Several options were explored for administrative spaces. One was to put administration in the upper level of the existing library, but the City expressed a preference to sell the building to the school district. The administrative offices and the school district could not function in the same building. There have been lengthy discussions regarding parking. There is a balance between parking needed, parking that can be shared and too much parking. The 75 stalls planned will cover use in the summer with staff parking elsewhere, except for special events. The library busy time can be nights and weekends, when overflow library parking would be in the school district parking lot. As for moving the building east, too many parking stalls would be lost. As for reducing the size of the building 10 feet means 10 feet times the length of the building, which is thousands of square feet of space. She would not be sure the library would be able to achieve its program. At that point she would prefer to keep the old building. An addition was considered, but the problem is that the existing building is a walkout and a lower and upper level would have to be built. What was needed is additional public space. It would be awkward and unattractive.

Chair Solomonson stated that the building is too big for the site and sits tight against Victoria. Being close to the intersection could pose safety issues with sight lines.

Mr. Simonson stated that there is a financial issue of reuse of the building by the school district in that the County is relying on the proceeds of the sale to go toward this project.

Mr. Blake Huffman, Ramsey County Commissioner, stated that initially the intent was to keep the old building and use it for County office workers. City officials made it clear that did not fit their image of a campus. Focus shifted to making the library a part of the campus and selling the old building to the school district.

Commissioner Doan stated that having a regional library in Shoreview is a huge asset. He wants to be sure it stays here. The location of the library on the corner is a great anchor with a signature building. There is a concern about the setback and he asked what the required setback is per City Code. Mr. Simonson explained that there are no specific codes for public uses. The standard from Highway 96 would be 50 feet and 30 feet from Victoria. Commissioner Doan stated that while he does not believe setbacks of 50 or 30 feet are needed, he is concerned and would like to hear the presentation from the architect to better understand how the building was planned.

Ms. Jennifer McMaster, HGA Architects, referred to a building in White Bear Lake along Highway 61 that is 10 feet from the right-of-way; the Shoreview library is between 23.9 and 25.10 from the curb to the building face. One portion is 16 feet back. The building in White Bear Lake is also 40 feet high. The two do not really compare. Ms. Nemitz added that the glass in the building and the insets of the building do not give an impression of a solid wall along Victoria.

Commissioner Ferrington noted that the use of glass makes the building lighter and they have achieved not having a mass wall along Victoria.

Chair Solomonson asked if the library could be bigger with a smaller footprint by going up. **Ms. Nemitz** responded that was considered, but it became cost prohibitive of the potential cost. One elevator can add \$100,000 to a building. Also with a two-story building staffing becomes intense. With large open space, one or two individuals can manage the space. She added that technical services has a small warehouse area where books are delivered to catalog, and label. That function has to be on ground level because there must be a dock.

Commissioner Schumer asked if there would be protection from anyone driving through the glass along Victoria. **Ms. McMasters** explained that a retaining wall is planned but is not shown in this early image.

Commissioner Doan stated that the setbacks shown are more acceptable. He expressed his appreciation of the County for their investment in Shoreview.

Commissioner McCool asked if any lane changes or additions to Highway 96 that would impact the library. Mr. Simonson stated that Highway 96 is set in its design for the long term.

Chair Solomonson stated that he believes the building is too big. Any other application on a busy intersection corner would not be approved with a 20-foot setback. He would rather see another 10 feet of setback on the west side. Not enough effort has been made to fit this building on the site. Also there could have been a link between the existing library and the new one that would have been minimal cost and would have reduced the footprint. He cannot support the library as presented.

Commissioner Peterson expressed concern about all the other ways things could be moved into Community Center space. The lower commons road will not be adequate and will have to be redone. Parking spaces could be moved 10 feet so the building could be moved. He asked if such changes could still be made. Mr. Simonson stated there is no simple answer. There is the relationship between the City and the County, but the County is the developer. The County has considered numerous options. The previous concept plan showed 10 less parking spaces and the concern was expressed that there would not be enough parking. There has been this give-and-take dynamic between the City and the County. There may be some requirements to the Commons drive. The City is confident that the site capacity can handle a regional library. The Community Center is at capacity. If an expansion is considered, parking will have to be part of that discussion.

Commissioner Peterson stated that he, too, wants to have regional library in Shoreview, but the deviation being requested is an exception. It may be a message needs to be sent that the Planning Commission cannot recommend approval. Mr. Simonson responded that the Commons needs to be looked at similar to a business park or corporate park. There are intense uses with building and parking structures, but it is within a large park area that provides green spaces and amenities. There have been discussions about changing parking in the lower area. He suggested making specific site changes to be weighed by the County and City.

Commissioner McCool stated that he shares many of Chair Solomonson's concerns. This is such a different use and different building that he is comfortable with the setbacks. There is no Master Plan to give the Commission perspective. He would be supportive as it is, but he would hope there would be more study as part of a master plan process.

Commissioner Schumer noted that for him the difference is that Victoria is not a two-way City street, but is separated with a landscaped median. He does not see any sight line issues given the location at Highway 96. Moving it 10 feet would lose 7 parking spots, but he will support it as it is.

Commissioner Ferrington stated that she is enthusiastic about this proposal. She agreed with Commissioner Doan that this is a grand building that will set the tone for the campus. It is light and airy. There is a concern about the closeness to the road, but she believes it will be okay.

Commissioner Doan stated that Victoria is very different from Highway 96. A building that pushes up to the road will help the community achieve the goal of having Victoria be calmer with traffic. There are benefits to be gained by having the library closer to the road.

MOTION:

by Commissioner Schumer, seconded by Commissioner Ferrington, to recommend to the City Council approval of a Rezoning and Planned Unit Development (PUD)-Development Stage applications for the proposed construction of a new Shoreview Regional Library by Ramsey County in accordance with the following findings and conditions:

Rezoning

Approval of the rezoning request for the properties included in the project (4570/4560 Victoria Street and 805/795 Highway 96) from R-1, Detached Residential, to PUD, Planned Unit Development, is based on the following:

- 1. That the proposed rezoning is consistent with the policies of the Comprehensive Guide Plan and with the general purpose and intent of the development regulations. The proposal is consistent with the Comprehensive Plan designation of the properties for Institutional uses, and complements the other public uses with the Shoreview Commons.
- 2. That the development facilitated by the proposed rezoning will not significantly and adversely impact the planned use of the surrounding property. The proposed rezoning is consistent with the public uses of the Shoreview Commons Civic Campus and will not adversely impact surrounding properties, but instead the development of a new regional library will positively benefit and serve the community.
- 3. The developer is willing to enter into a rezoning/development agreement with the City.

As a condition of approval, Ramsey County will be required to enter into a development agreement with the City.

PUD – Development Stage

Approval of the PUD Development Stage request for the new Shoreview Library, as the project satisfies the development review criteria for a Planned Unit Development in meeting the following objectives:

- 1. Complies with the Comprehensive Plan designation of Institutional.
- 2. Uses architectural enhancements in the building design that meets and exceeds the City's design standards.
- 3. Green building techniques will be incorporated into the overall building design, and the project includes sustainable goals for elements such as water, energy, building materials, and indoor air quality.
- 4. Development via the PUD process is desirable to insure compatibility with adjoining land uses and provides flexibility in site and building design.

and the approval is subject to the following conditions:

- 1. Submittal and approval of a subdivision plat prior to the completion and occupancy of the new regional library.
- 2. Execution of all related cooperative agreements between the City and County for the development including land transfer, shared access and easements, and property maintenance.
- 3. Approval of the final grading, drainage, utility, and erosion control plans by the Public Works Director, prior to submittal of the Final Plat and PUD Final Stage applications.
- 4. The PUD Final Stage plans shall address the recommendations and conditions stipulated in the memorandum from the Public Works Director and City Engineer, including stormwater management and tree replacement plans.
- 5. The County shall secure a permit from the Ramsey Washington Metro Watershed District prior to commencing any grading on the property.
- 6. The applicant is required to enter into a Site Development Agreement and Erosion Control Agreement with the City. Said agreements shall be executed prior to the issuance of any permits for this project.

Discussion:

Chair Solomonson stated that he will vote no because he would like to see the building moved east.

Commissioner Peterson agreed and would like to see more planning to improve it. He will oppose this plan but is in no way opposed to a regional library.

VOTE:

Ayes - 5

Nays - 2 (Peterson, Solomonson)









PLANNING CIVIL ENGINEERING LAND SURVEYING LANDSCAPE ARCHITECTURE ENVIRONMENTAL

7200 Hemlack Lane, Suite 300 Maple Grove, MN 55369 763.424.5505

DESCRIPTION OF PROPERTY SURVEYED

(Per Schedule A of Commitment for Title Insurance issued by Commercial Partners Title, LLC, as agent for Old Republic National Title Insurance Company, File No. 40352, dated June 19, 2015.)

Lot 1, Block 1, Commons Park Addition, Ramsey County, Minnesota

Parcel 3:

SCALE

O DENOTES 1/2 INCH X 14 INCH IRON MONUMENT SET, MARKED "RLS 16099"

CPA DENOTES PLAT OF COMMONS PARK ADDITION

Tract A:

A parcel of land located in the Southeast Quarter of Section 14, Township 30 North, Range 23 West described as follows:

Commencing at the South quarter corner of said Section 14; thence North along the North and South quarter line a distance of 70.97 feet bearing North O degrees 0 minutes; thence North 84 degrees 57 minutes 30 seconds East a distance of 571.87 feet to a point on the North right of way line of State Trunk Highway No. 96 said point being the Southwest corner of parcel of land to be described; thence North 0 degrees 00 minutes a distance of 178.70 feet; thence North 0 degrees 25 acts a distance of 100 feet; thence South 0 degrees 00 minutes a distance of 200 feet to a point on the the North right of way line of State Trunk Highway No. 96; thence South 84 degrees 57 minutes 30 seconds West along the North right of way line a distance of 90.25 feet; thence North 5 degrees 02 minutes 30 seconds West along the North right of way line 30 feet; thence South 84 degrees 57 minutes 30 seconds West along asid right of way line 30 feet; thence South 84 degrees 57 minutes 30 seconds West along said right of way line 30 feet; thence South 84 degrees 57 minutes 30 seconds West along said right of way line 30 feet; thence South 84 degrees 57 minutes 30 seconds West along said right of way line 30 feet; thence South 84 degrees 57 minutes 30 seconds West along said right of way line 30 feet; thence South 84 degrees 57 minutes 30 seconds West along said right of way line 30 feet; thence South 84 degrees 57 minutes 30 seconds West along said right of way line 30 feet; thence South 84 degrees 57 minutes 30 seconds West along said right of way line 30 feet; thence South 84 degrees 57 minutes 30 seconds West along said right of way line 30 feet; thence South 84 degrees 57 minutes 30 seconds West along said right of way line 30 feet; thence South 84 degrees 57 minutes 30 seconds West along said right of way line 30 feet; thence South 84 degrees 57 minutes 30 seconds West along said right of way line 30 feet; thence Sou

A parcel of land located in the Southeast Quarter of Section 14, Township 30 North, Range 23

A parcel of land located in the Southeast Quarter of Section 14, Township 30 North, Range 23 West, described as follows: Commencing at the South quarter corner of said Section 14; thence North along the North and South quarter line a distance of 70.97 feet; thence North 84 degrees 57 minutes 30 seconds East a distance of 579.39 feet; thence South 5 degrees 02 minutes 30 seconds East 30 feet to the Northerly right of way line of State Trunk Highway No. 95; thence North 84 degrees 57 minutes 30 seconds East 90.25 feet along said Northerly right of vay line for point of beginning; thence North 84 degrees 57 minutes 30 seconds East 90.25 feet along said Northerly right of vay line; thence South 84 degrees 57 minutes 30 seconds West 25.10 feet along said Northerly right of way line to point of beginning.

Ramsey County, Minnesota

Parcel 4:

Part of the Southeast Quarter of Section 14, Township 30, Range 23, described as follows: Commencing at the South quarter corner of said Section 14; thence North slong the North and South quarter line a distance of 70.97 feet; thence North 84 degrees 57 minutes 30 seconds East a distance of 579.39 feet; thence South 5 degrees 0.2 minutes 30 seconds East 30 feet to the Northeyk right-of-way kine of State Trunk Highway No. 95; thence North 84 degrees 57 minutes 30 seconds East 115.35 feet along said Northeyk right-of-way kine of state Trunk Highway No. 95; thence North 84 degrees 57 minutes 30 seconds East 115.35 feet along said Northeyk right-of-way kine for point of beginning; thence North 197.97 feet; thence East 100 feet; thence South 18.897 feet to said Northeyk right-of-way line to point of becoming according to the United States Government Survey thereof. line to point of beginning, according to the United States Government Survey thereof. Ramsey County, Minnesota.

SURVEY NOTES

- 1) The Gross land area is 172,309+/- square feet or 3.96 +/- acres.

2) We have shown buried structures and utilities on and/or sensing the site Per Gopher State One-Call Ticket No.s 151682801, 151682807 151682838, 15682848, 151682855, 151682881, 151682855, \$151682282. The following utilities and municipalities were notified:

(S12) 222-8141

CITY OF SHOREVIEW

METRO WASTE COMMISSION

- JUIIIty operators do not consistently respond to locate requests through the Gopher State One Call service for boundary purposes such as this. Those utility operators that do respond often will not locate services from their main line to the outsomer's structure or facility: they consider those segments private installations that are outside their jurisdiction. If a private service to an adjoiner's site crosses this site or a service to this site crosses an adjoiner, it may not be located since most operators will not mark such "private" services.

 ii) Snow and ice conditions during winter months may obscure otherwise visible evidence of a buried structure or utility.

 iii) Maps provided by operators, either along with a field location or in lieu of such a location, are very often inaccurate or inconductive. EXTREME CAUTION MUST BE EXERCISED BEFORE AN EXCAVATION TAKES PLACE ON OR NEAR THIS SITE. BEFORE DIGGING, YOU ARE REQUIRED BY LAW TO NOTIFY GOPHER STATE ONE CALL AT LEAST 48 HOURS IN ADVANCE AT 651/454-0002.

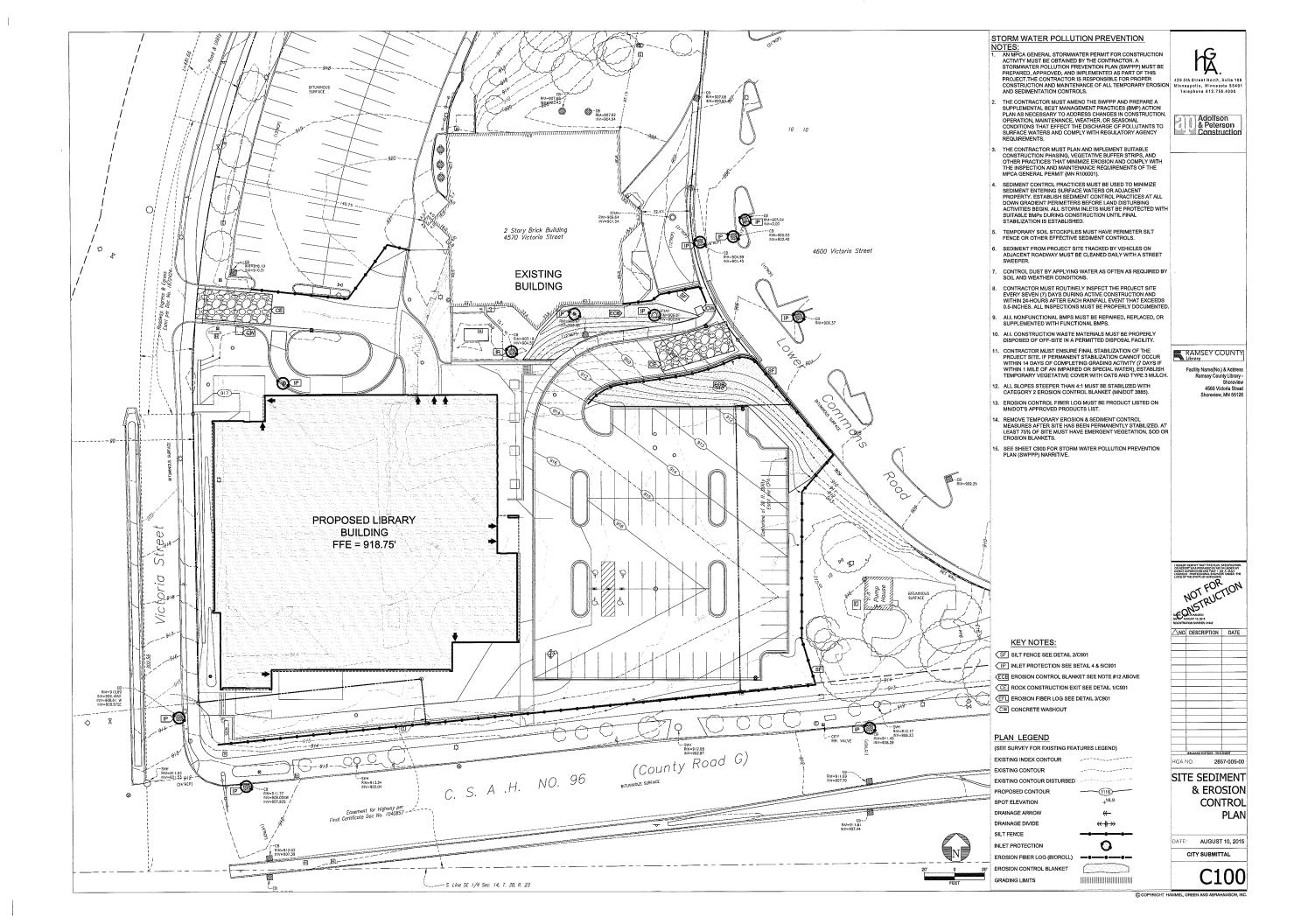
- The proposed soil boring location in the Northwest corner of the south parking lot appears to be directly over a storm sewer.
- 4) We have shown private water/irrigation to the extent that it was marked, which was very

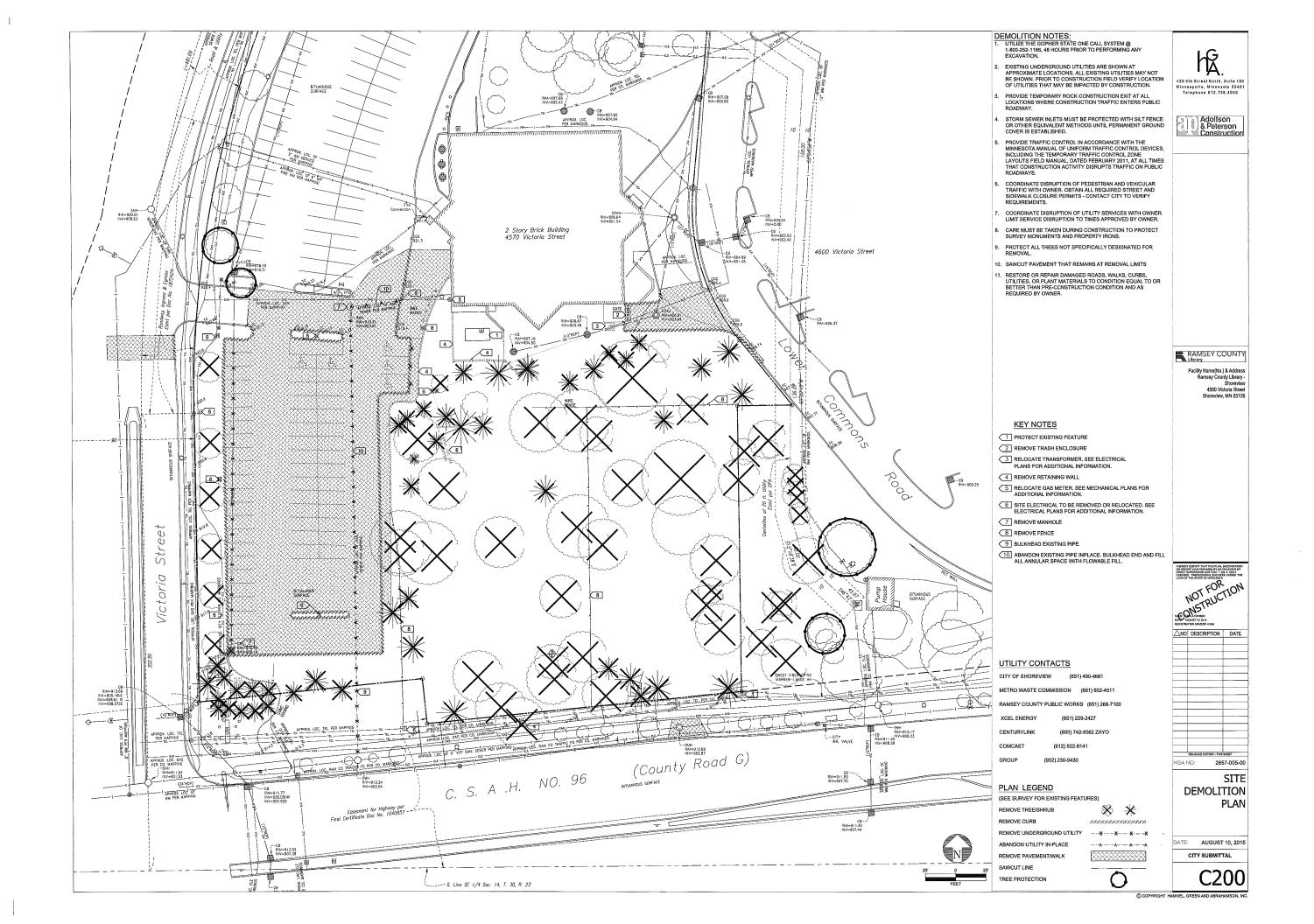
22-15	Original Issu

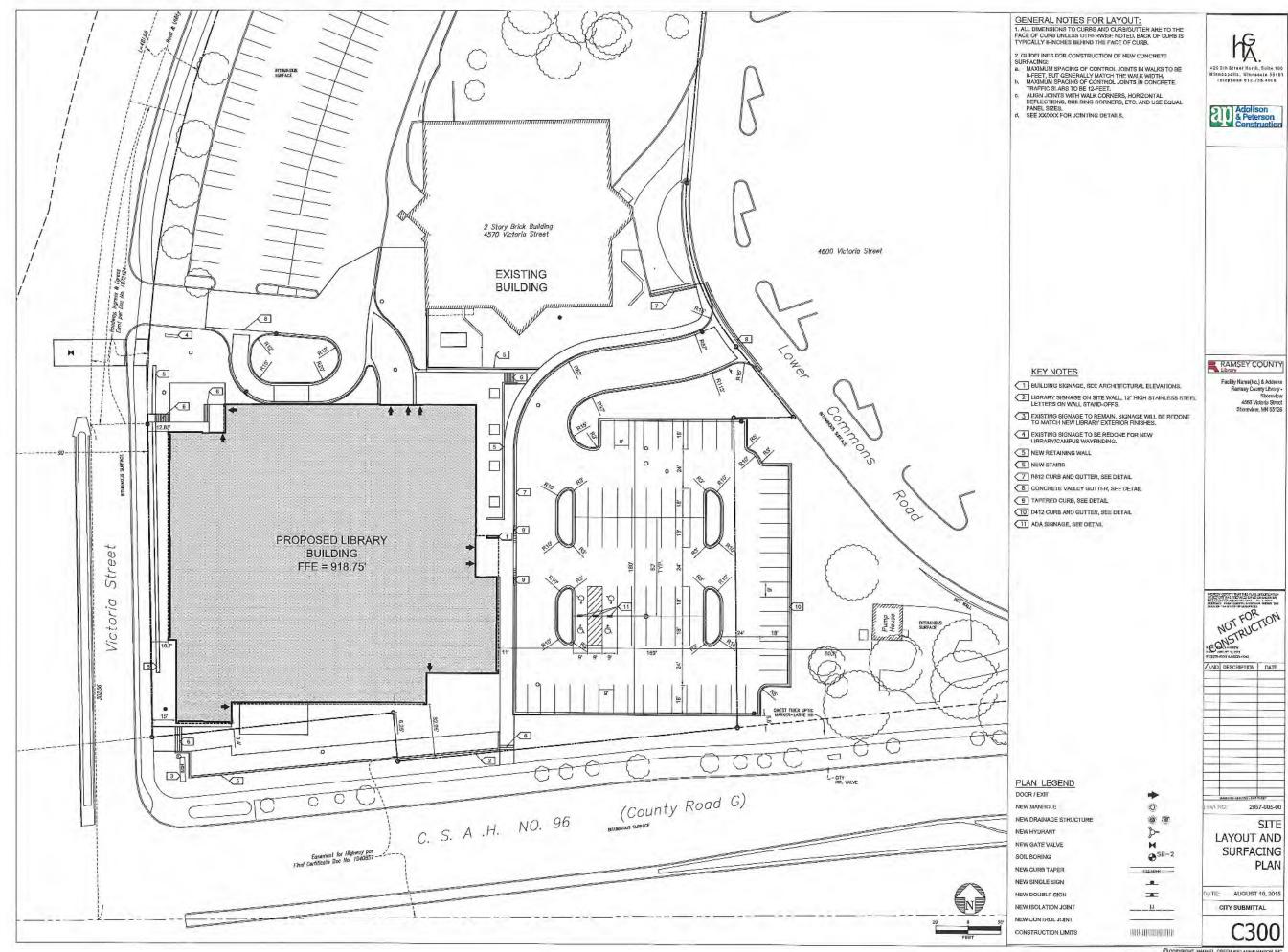
PROFESSIONAL SIGNATURE by certify that this survey, plan or report was red by me or under my direct supervision and that the control under the laws or QUALITY CONTROL VICINITY MAP

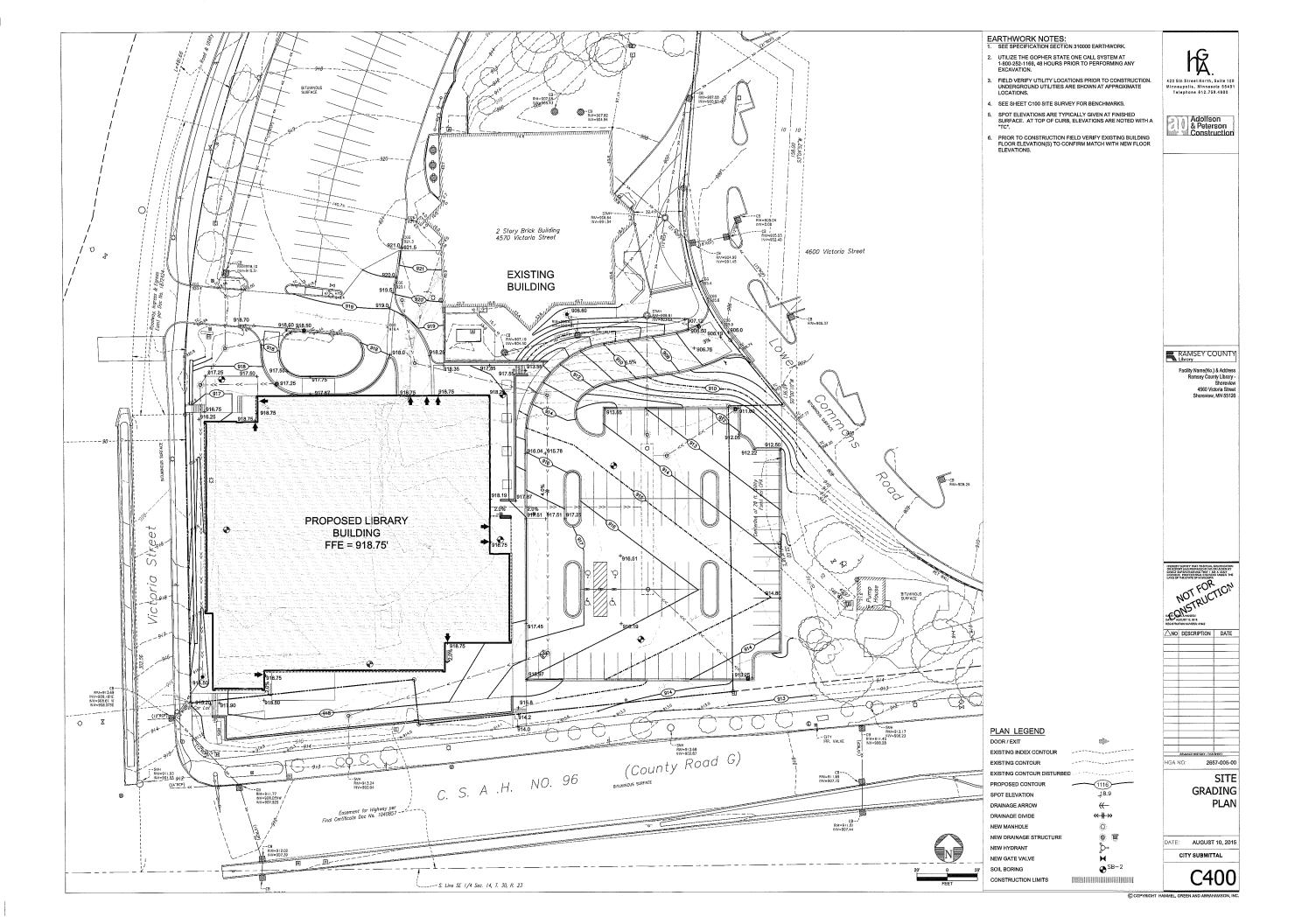


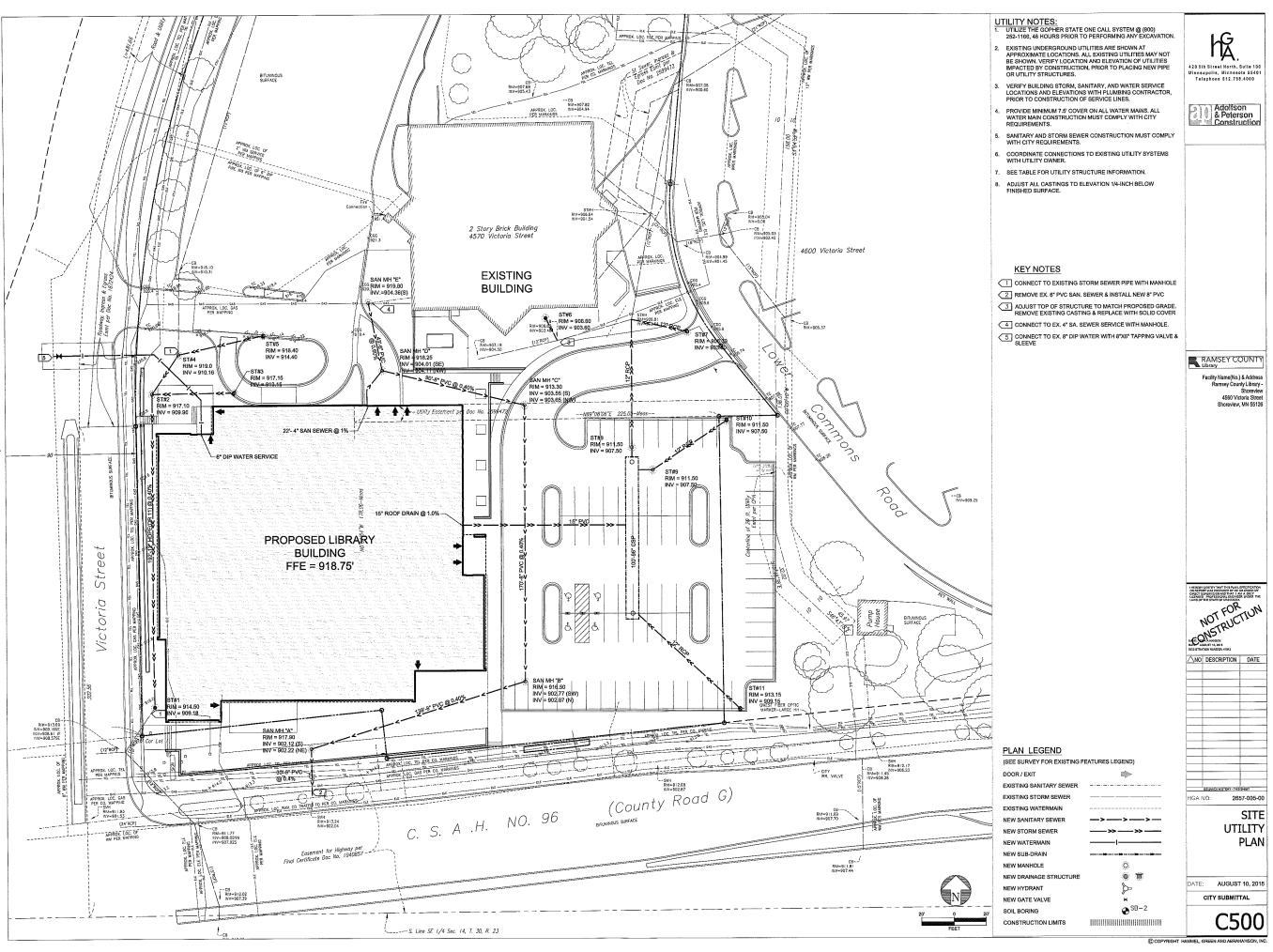












Ramsey County Library-Shoreview Impaired Water Search Map TAMMENITION PLANT SHOREVIE Ramsey County Library Site Copyright 2011 Esri. All rights reserved. Mon Aug 10 2015 08:02:59 AM.

STORM WATER POLLUTION PREVENTION (SWPPP) NARRATIVE

THIS PROJECT IS LOCATED AT 4560 VICTORIA STREET IN SHOREVIEW, MN AND WILL CONSIST OF THE CONSTRUCTION OF A NEW LIBRARY BUILDING ALONG WITH SITE GRADING AND UTILITY INSTALLATIONS. THE PROPOSED IMPROVEMENTS WILL CONSIST OF REMOVAL AND REPLACEMENT OF PUBLIC SIDEWALK AND PLAZA SURFACING ALONG VINELAND AVENUE; PLAZA SURFACING ALONG HENNEPIN AVENUE; GRADING AND INSTALLATION OF SIDEWALKS IN THE GRASS AREA WEST OF THE CURRENT BUILDING.

PROJECT DESCRIPTION

- PROJECT SITEWORK WILL INCLUDE SITE REMOVALS, GRADING, UTILITY INSTALLATIONS AND PARKING LOT CONSTRUCTION FOR THE PROPOSED BUILDING
- CONSTRUCTION PHASE POLLUTANT SOURCES ANTICIPATED AT THE SITE ARE DISTURBED (BARE) SOIL, VEHICLE FUELS AND
 LUBRICANTS, CHEMICALS ASSOCIATED WITH BUILDING CONSTRUCTION, CONSTRUCTION GENERATED LITTER AND DEBRIS,
 AND BUILDING MATERIALS. THERE IS THE POTENTIAL FOR THESE ITEMS TO BE TRANSPORTED BY STORM WATER WITHOUT
- 3. THE CONTRACTOR WILL BE A CO-PERMITTEE WITH THE OWNER
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS INVOLVED WITH MAJOR CONSTRUCTION ACTIVITIES THAT DISTURB SITE SOILS MUST SIGN A COPY OF THE APPROPRIATE CERTIFICATION STATEMENT IDENTIFIED IN THE MPCA GENERAL PERMIT REQUIREMENTS AND. THAT INFORMATION MUST BE KEPT WITH THIS SWPPP.
- 5. LAKE OF THE ISLES IS THE DOWNSTREAM RECEIVING WATER FROM THE NORTHERN PORTION OF THE SITE. THERE ARE NO IMPAIRED OR SPECIAL WATERS WITHIN 1-MILE OF THE SITE. HOWEVER, THE CITY OF MINNEAPOLIS REQUIRES STORMWATI DISCHARGES TO LAKE OF THE ISLES, FROM DEVELOPING SITES, PROVIDE A REDUCTION IN PHOSPHORUS LOADING OF 20
- 6. THE CONTRACTOR SHALL SUBMIT THE NOT DOCUMENTATION TO THE OWNER AFTER FINAL STABILIZATION AND FINAL MAINTENANCE OF ALL PERMANENT EROSION CONTROL DEVICES. THIS DOCUMENTATION WILL SIGNAL COMPLETION OF THE PROJECT, AFTER PROJECT COMPLETION, THE OWNER SHALL BE RESPONSIBLE FOR ALL FUTURE MAINTENANCE, EXCLUSIVE OF ITEMS COVERED BY CONTRACTOR WARRANTY.
- PROVIDE CONCRETE WASH PIT OR CONTAINER ON SITE TO COLLECT ALL CONCRETE WASH WATER. CONCRETE WASH WATER MUST NOT BE ALLOWED TO ENTER THE STORM SEWER SYSTEM.
- 8. PROVIDE MIDOT CATEGORY 3 EROSION CONTROL BLANKET WHERE SHOWN ON PLANS

SPECIAL AND IMPAIRED RECEIVING WATERS

A SPECIAL AND IMPAIRED WATERS SEARCH WAS CONDUCTED USING THE MINNESOTA POLLUTION CONTROL AGENCY (MPCA) WEBSITE. THERE WERE NO IMPAIRED WATER IDENTIFIED IN THIS SEARCH AND IS IDENTIFIED, ALONG WITH THE NOTED IMPAIRMENTS, BELOW.

SOIL TYPES TYPICALLY FOUND ON THIS PROJECT SITE ARE: SURFICIAL LAYERS OF FILL THAT CONSIST OF SANDY LEAN CLAY, SILTY SAND OR NATIVE POORLY GRADED SAND WITH SILT UNDERLAIN BY SANDY LEAN CLAY TO DEPTH

TOTAL PROJECT SITE AREA IS 110,351 S.F. (2.53 ACRES)

TOTAL SITE DISTURBED AREA IS 110,351 S.F. (2.53 ACRES)

TOTAL EXISTING IMPERVIOUS AREA IS 40,716 S.F. (0.93 ACRES)

TOTAL PROPOSED IMPERVIOUS AREA IS 89,000 S.F. (2.04 ACRES)

GENERAL SWPPP NOTES FOR CONSTRUCTION ACTIVITY

- THE CONTRACTOR WILL DEVELOP A CHAIN OF COMMAND WITH ALL OPERATORS ON THE SITE TO ENSURE THAT THE SWPPP WILL BE IMPLEMENTED AND STAY IN EFFECT UNTIL THE CONSTRUCTION PROJECT IS COMPLETE, HAS UNDERGONE FINAL STABILIZATION AND A MOSTRUCTURE OF CONTRACTOR OF THE MOST. NOTICE OF TERMINATION (NOT) HAS BEEN SUBMITTED TO THE MPCA.
- THE CONTRACTOR WILL PREPARE WEEKLY AND EVENT DRIVEN EROSION INSPECTION REPORTS AS NOTED IN THE PERMIT.
- 3. THE CONTRACTOR WILL COMPLY WITH THE REQUIREMENTS OF THE PERMIT REGARDING IS NOT LIMITED TO. THE FOLLOWING:
- CONCRETE WASHOUT AREAS. LOCATION OF WASHOUT AREAS MUST BE IDENTIFIED BY SIGNAGE AND MUST UTILIZE A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER THAT PREVENTS RUNOFF FROM DISCHARGING ONTO ADJACENT SOILS
- SOLID WASTE COLLECTION AND REMOVAL
- SECURED HAZARDOUS WASTE STORAGE CONTAINERS
- SECURED HAZARDOUS WAS IS STORAGE CONTAINERS
 CHEMICAL SPILL KITS
 PORTABLE RESTROOM FACILITIES THAT ARE ANCHORED TO PREVENT TIPPING.
 CHEMICALS MUST BE KEPT IN A SECURE STORAGE AREA WHEN NOT IN USE. CHEMICAL
 STORAGE CONTAINERS MUST HAVE SECONDARY CONTAINMENT WHEN BEING USED OR
 STORED ONT HE PROJECT SITE. CHEMICAL SPILLS OF ANY KIND (OIL, FUEL, FERTILIZER, ETC...)
 MUST BE CLEANED UP AND REMOVED FROM THE SITE IMMEDIATELY. THE CONTRACTOR MUST
 HAVE A SPILL KIT ON SITE AT ALL TIMES.
- THE EROSION PREVENTION AND SEDIMENT CONTROL BMPS SHALL BE INSTALLED AS NECESSARY TO MINIMIZE EROSION FROM DISTURBED SURFACES AND CAPTURE SEDIMENT ON SITE, ALL EROSION CONTROL MEASURES SHALL BE INPLACE PRIOR TO ANY REMOVAL WORK AND/OR GROUND DISTURBING ACTIVITIES COMMENCE AND SHALL BE MAINTAINED UNTIL THE POTENTIAL FOR EROSION HAS BEEN ELIMINATED.
- SEDIMENT CONTROL DEVICES MUST BE ESTABLISHED ON ALL DOWN GRADIENT PERIMETERS BEFORE ANY UP GRADIENT LAND DISTURBING ACTIVITIES BEGIN. SEDIMENT CONTROL DEVICES INCLUDE, BUT ARE NOT LIMITED TO:
- PERIMETER CONTROL SHALL BE LOCATED ON THE CONTOUR TO CAPTURE OVERLAND, LOW-VELOCITY SHEET FLOWS DOWN-GRADIENT OF ALL EXPOSED SOILS AND PRIOR TO DISCHARGING TO SURFACE WATERS.
- B. DITCH CHECKS WILL BE PLACED AS INDICATED ON THE PLANS DURING ALL PHASES OF CONSTRUCTION.
- CONSTRUCTION.

 C. SEDIMENT DAMAGE FROM STOCKPILES WILL BE MINIMIZED BY PLACING A ROW OF SILT FENCE
 A MINIMUM OF 5 FEET FROM THE TOE OF THE SLOPE OF THE STOCKPILE.

GENERAL SWPPP NOTES FOR CONSTRUCTION ACTIVITY

- STORM SEWER INLETS WILL BE PROTECTED AT ALL TIMES WITH THE APPROPRIATE INLET PROTECTION DEVICE FOR ACH SPECIFIC PHASE OF CONSTRUCTION, INLET PROTECTION DEVICES MAY NEED TO BE FLACED MULTIPLE TIMES IN THE SAME LOCATION OVER THE LIFE OF THE PROJECT, ALL STORM SEWER INLET PROTECTION DEVICES WILL BE KEPT IN GOOD FUNCTIONAL CONDITION AT ALL TIMES.
- 8. THE CONTRACTOR WILL PLACE CONSTRUCTION EXITS, AS NECESSARY, TO PREVENT TRACKING OF SEDIMENT ONTO PAVED SURFACES AND IN COMPLIANCE WITH PART IV OF THE NPDES PERMIT. CONSTRUCTION EXITS WILL BE SUFFICIENTLY SIZED AND MAINTAINED TO PREVENT TRACK OUT.
- THE CONTRACTOR SHALL CLEAN ALL TRACKED MATERIALS ON ADJACENT ROADWAYS ON A DAILY BASIS OR AS REQUIRED BY THE CITY OF MINNEAPOLIS.
- 10. THE CONTRACTOR MUST USE METHODS AND OPERATIONAL PROCEDURES THAT PREVENT RUNOFF WITH CONCRETE DUST, PARTICLES, SAW CUT SLURRY, PLANTING WASTE AND OTHER OR FUTURE VEGETATED AREAS FROM ENTERING STORM WATER CONVEYANCE SYSTEMS, INCLUDING INLETS AND CURB FLOW LINES.
- ALL EXPOSED SOIL AREAS MUST BE TEMPORARILY AND PERMANENTLY STABILIZED NO MORE THAN 7 DAYS AFTER CONSTRUCTION ACTIVITY ON THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
- 12. THE CONTRACTOR SHALL COMPLY WITH THE FOLLOWING INSPECTION AND MAINTENANCE REQUIREMENTS:
- SILT FENCE MUST BE REPAIRED, REPLACED OR SUPPLEMENTED WHEN IT BECOMES NON-FUNCTIONAL OR SEDIMENT REACHES 1/3 THE HEIGHT OF THE SILT FENCE. REPAIRS MUST BE MADE WITHIN 24 HOURS OF DISCOVERY.
- B. INLET PROTECTION DEVICES SHOULD BE REPAIRED WHEN THEY BECOME NON-FUNCTIONAL OR SEDIMENT REACHES 1/3 THE HEIGHT OR DEPTH OF THE DEVICE.
- ALL OTHER NON-FUNCTIONAL BMPs MUST BE REPAIRED, REPLACED OR SUPPLEMENTS WITHIN 24 HOURS OF DISCOVERY.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL BMPs UNTIL WORK HAS BEEN COMPLETED, THE SITE HAS UNDERGONE FINAL STABILIZATION AND A NOTICE OF TERMINATION (NOT) HAS BEEN SUBMITTED TO THE MPCA IN ACCORDANCE WITH THE CONDITIONS OF THE NPDES PERMIT.
- 13. TEMPORARY DEWATERING ACTIVITIES MAY BE REQUIRED FOR THE THIS PROJECT.
 ALL TEMPORARY DEWATERING SHALL BE DISCHARGED TO AN APPROVED LOCATION
 FOR TREATMENT PRIOR TO DISCHARGE TO THE RECEIVING WATER.

GENERAL SWPPP NOTES FOR CONSTRUCTION ACTIVITY POLLUTION PREVENTION

- . IF A SPILL OCCURS, OBSERVE THE SAFETY PRECAUTIONS
 ASSOCIATED WITH HE SPILLED MATERIAL. STOP THE SOURCE OF
 THE SPILL, IF POSSIBLE, CALL THE LOCAL FIRE AND/OR POLICE
 DEPARTMENTS IF FIRE OR PUBLIC SAFETY HAZARDS ARE CREATED.
 CONTAIN THE SPILLED MATERIAL. TOPSOLI, SAND OR ANY
 SEMI-IMPERMEABLE MATERIAL MAY BE USED TO CREATE A
 TEMPORARY CONTAINMENT STRUCTURE TO PREVENT THE SPILLED
 MATERIAL FROM FLOWING, REPORT THE SPILL OT HE MINNESOTA
 POLLUTION CONTROL AGENCY (MPCA) THROUGH THE STATE DUTY
 OFFICER. 24 HOUR TELEPHONE NUMBERS ARE: 651-649-5451 OR
 800-422-0798. CLEAN UP THE SPILLED MATERIAL AND DISPOSE OF
 THE WASTES PROPERLY. WITH THE EXCEPTION OS USED OIL,
 WASTES GENERATED FROM PETROLEUM SPILLS THAT HAVE BEEN
 REPORTED AND CLEANED UP IMMEDIATELY ARE EXEMPT FROM
 MINNESOTAS HAZARDOUS WASTE RULES. WASTE GENERATED
 FROM USED OIL SPILLS MUST BE SENT TO A FACILITY FOR ENERGY
 RECOVERY. 14. IF A SPILL OCCURS, OBSERVE THE SAFETY PRECAUTIONS
- 15. IF CONTAMINATED SOILS ARE DISCOVERED DURING THE COURSE OF THE PROJECT. THE STATE DUTY OFFICER SHALL IMMEDIATELY BE CALLED, AT THE NUMBERS NOTED ABOVE, AND EMERGENCY CONTAINMENT ACTIONS SHALL BE TAKEN.
- TRASH AND CONSTRUCTION DEBRIS SHALL BE DISPOSED OF PROPERLY, PROPER MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO KEEP DEBRIS FROM SURFACE WATERS.



Adolfson & Peterson Construction

RAMSEY COUNTY

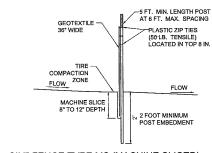
Ramsey County Library -4560 Victoria Stree



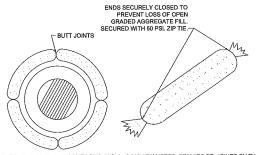
DATE: AUGUST 10, 2015 REGISTRATION NUMBER: 41M2			
ΔΝ0	DESCRIPTIO	N	DATE
		_	
		_	
		_	
		_	
		_	
	ISSUANCE HISTORY -	THS	SHEET
HGA I	40:	26	57-005-

SITE DETAILS

DATE: AUGUST 10 2015 CITY SUBMITTAL

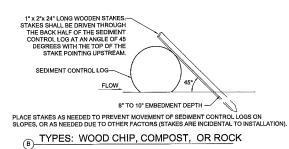


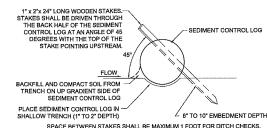
SILT FENCE TYPE MS (MACHINE SLICED) 2 SILT FENCE TYPE MS (MACHINE SLICED FOR SHEET FLOW WITH MAXIMUM CONTRIBUTING AREA = 1 ACRE



GEOTEXTILE SOCK 4 - 10 FEET LONG AND 4 - 6 INCH DIAMETER. SEAM TO BE JOINED BY TWO ROWS OF STITCHING WITH A PLASTIC MESH BACKING OR PROVIDE A HEAT BONDED SEAM (OR APPROVED EQUIVALENT). FILL ROCK LOG WITH OPEN GRADED AGGREGATE CONSISTING OF SOUND DURABLE PARTICLES OF COARSE AGGREGATE

(4) INLET PROTECTION - ROCK LOG/COMPOST LOG





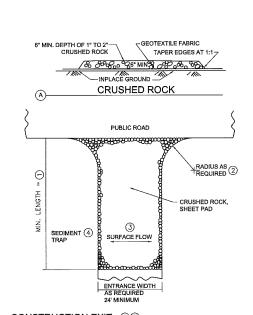
SPACE BETWEEN STAKES SHALL BE MAXIMUM 1 FOOT FOR DITCH CHECKS, AND 2 FEET FOR OTHER APPLICATIONS

TYPES: STRAW, WOOD FIBER, OR COIR

3 SEDIMENT CONTROL LOGS

NOTES FOR DETAILS 1 & 2

- (1) MINIMUM LENGTH IS 50 FEET OR A LENGTH SUFFICIENT TO ALLOW A MINIMUM OF 5 THE ROTATIONS ON THE PROVIDED PAD. MINIMUM LENGTH SHALL BE CALCULATED USING THE LARGEST TIRE WHICH WILL BE USED IN TYPICAL
- (2) PROVIDE RADIUS OR WIDEN PAD SUFFICIENTLY TO PREVENT VEHICLE TIRES FROM TRACKING OFF OF PAD WHEN LEAVING SITE.
- (3) IF RUNOFF FROM DISTURBED AREAS FLOWS TOWARD CONSTRUCTION EXIT, PREVENT RUNOFF FROM DRAINING DIRECTLY TO PUBLIC ROAD OVER CONSTRUCTION EXIT BY CROWNING THE EXIT OR SLOPING TO ONE SIDE. IF SURFACE GRADING IS INSUFFICIENT, PROVIDE OTHER MEANS OF INTERCEPTING
- (4) IF RUNOFF FROM CONSTRUCTION EXIT WILL DRAIN OFF OF PROJECT SITE, PROVIDE SEDIMENT TRAP WITH STABILIZED OVERFLOW.
- (5) IF A TIRE WASH OFF IS REQUIRED THE CONSTRUCTION EXIT SHALL BE GRADED TO DRAIN THE WASH WATER TO A SEDIMENT TRAP.
- (8) MAINTENANCE OF CONSTRUCTION EXTS SHALL OCCUR WHEN THE EFFECTIVENESS OF SEDIMENT REMOVAL HAS BEEN REDUCED. MAINTENANCE SHALL CONSIST OF REMOVING SEDIMENT AND CLEANING THE MATERIALS OR PLACING ADDITIONAL MATERIAL (ROUSHED ROCK) OVER SEDIMENT FILLED MATERIAL TO RESTORE EFFECTIVENESS.



CONSTRUCTION EXIT ⑤⑦ CONSTRUCTION EAT OF (CRUSHED ROCK OR SHEET PAD)

版 20 Sth Street North, Suite 1 Telephone 612.758.4000

Adolfson & Peterson Construction

RAMSEY COUNTY

Facility Name(No.) & Address Ramsey County Library -Shoreview 4560 Victoria Street Shoreview, MN 55126

HEAD TO THE THE TO THE △NO DESCRIPTION DATE

ISSUANCE HISTORY - THIS SHEET HGA NO: 2657-005-00 SITE **DETAILS**

DATE: AUGUST 10, 2015 CITY SUBMITTAL

(3) DO NOT PLACE FILTER BAG INSERT IN INLETS SHALLOWER THAN 30 INCHES, MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE. THE PLACED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE OF 3 INCHES BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, WHERE NECESSARY THE CONTRACTOR SHALL CLINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3 INCH SIDE CLEARANCE. (4) FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" x 4", OR USE A ROCK SOCK OR SAND BAGS IN PLACE OF FLAP POCKETS CAN BE INSTALLED IN ANY INLET TYPE WITH OR WITHOUT A CURB BOX 5 INLET PROTECTION - FILTER BAG INSERT

ALL GEOTEXTILE USED FOR INLET PROTECTION TO BE MONAFILAMENT IN BOTH DIRECTIONS

(2) FINISHED SIZE INCLUDING POCKETS WHERE REQUIRED SHALL EXTEND A MINIMUM OF 10 INCHES AROUND PERIMETER TO FACILITATE MAINTENANCE AND REMOVAL

-- INLET SPECIFICATIONS AS PER PLAN DIMENSION LENGTH AND WIDTH TO MATCH FLAP POCKET

102

MINIMUM DOUBLE STITCHED SEAMS ALL AROUND SIDE PIECES AND ON FLAP POCKETS

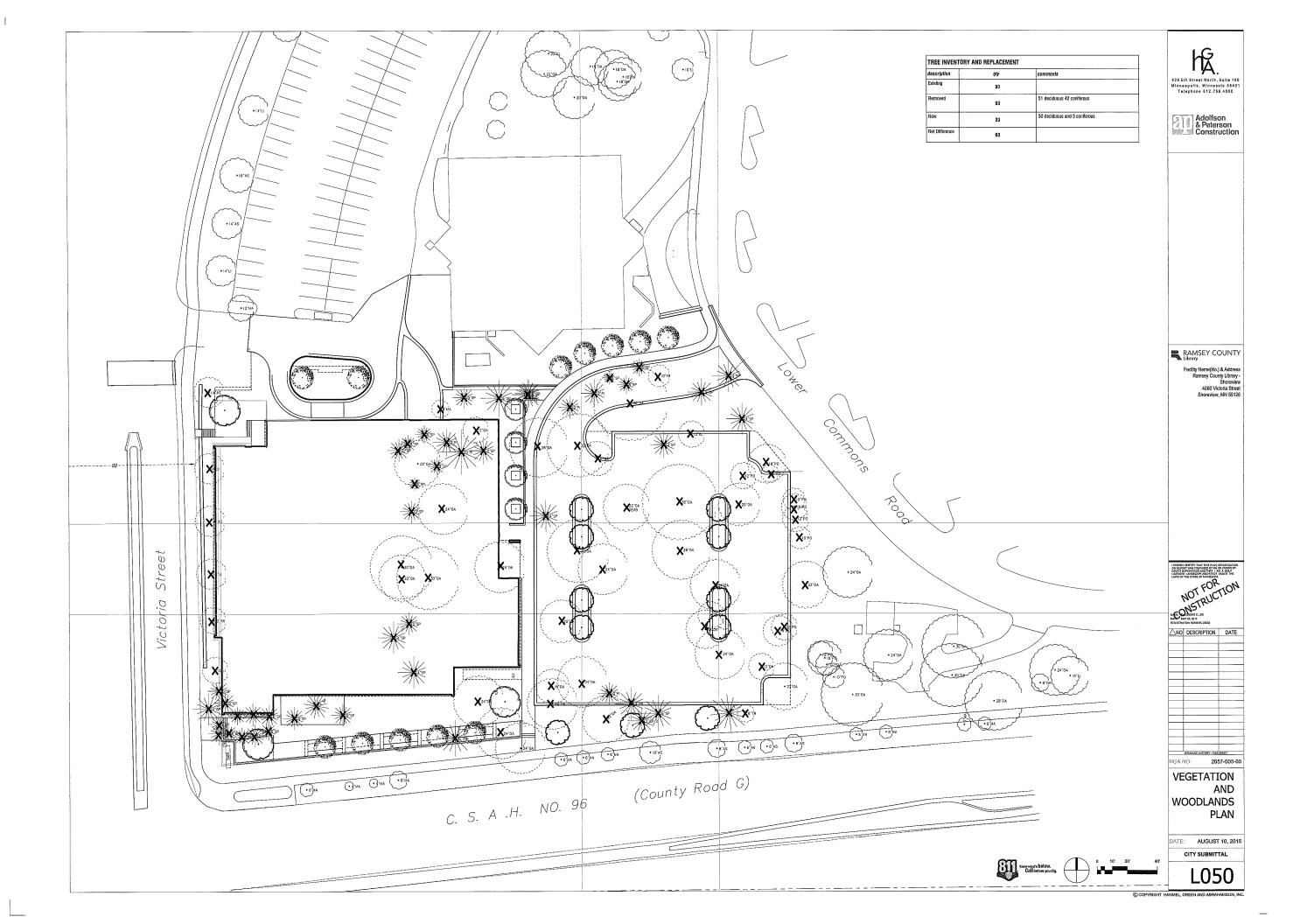
FRONT, BACK, AND -BOTTOM TO BE

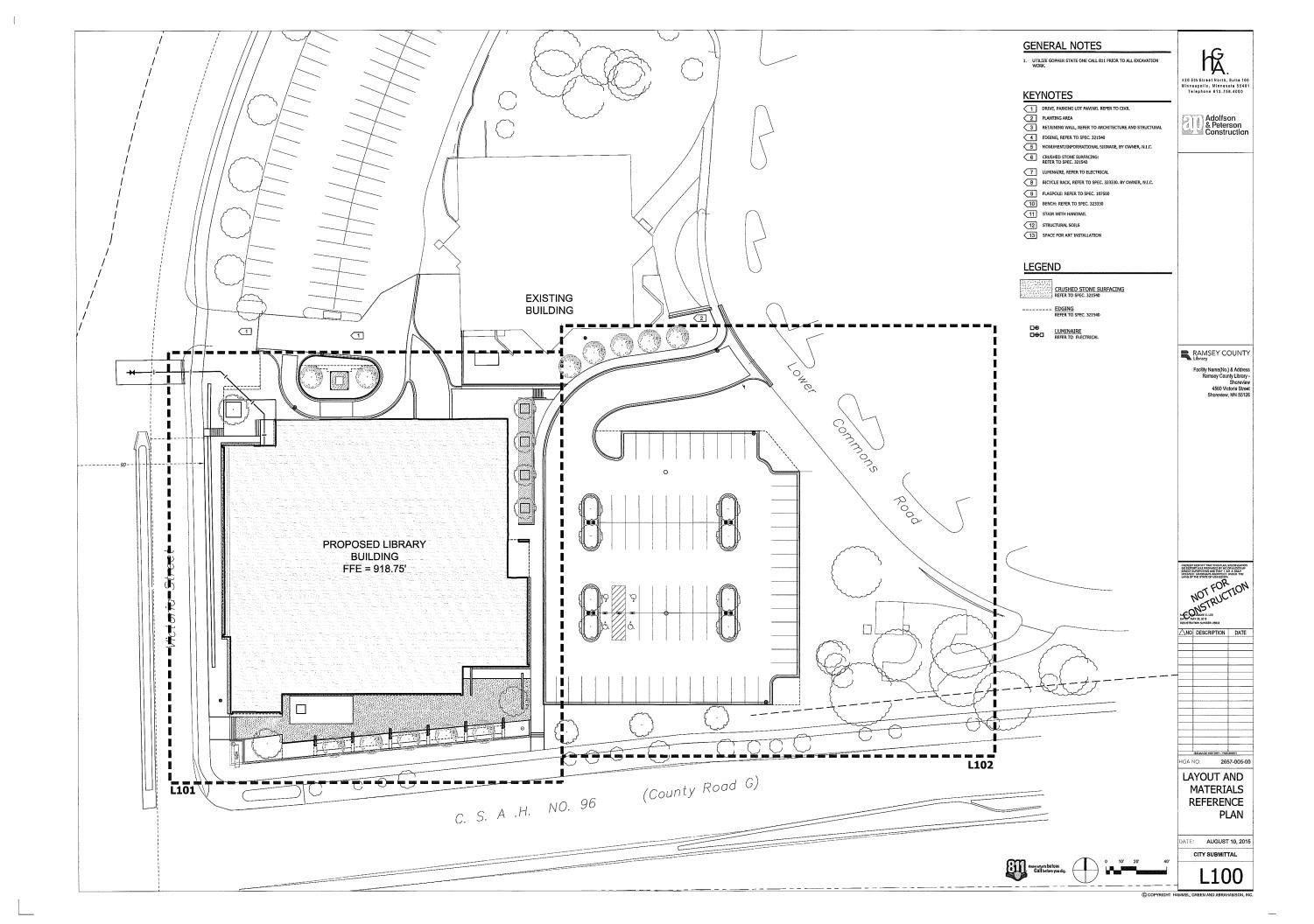
MADE FROM SINGLE PIECE OF FABRIC

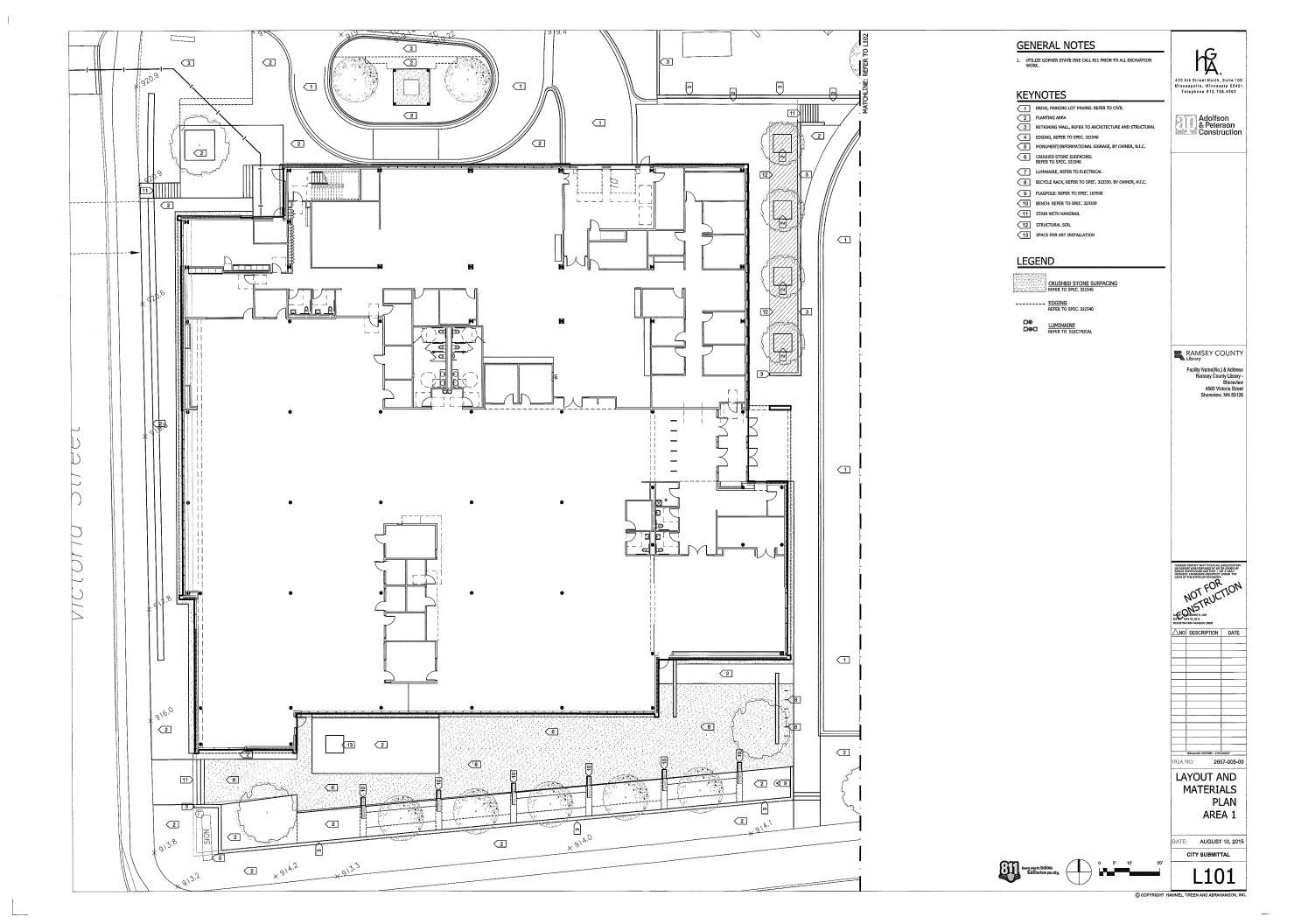
USE REBAR OR STEEL ROD ON BOTH SIDES FOR REMOVAL (AT INLETS WITH CAST CURB BOX REPLACE ROD w/2*x*) EXTEND 10* BEYOND GRATE WIDTH ON BOTH SIDES, LENGTH VARIES, SECURE TO GRATE WITH WIRE OR PLASTIC TIES

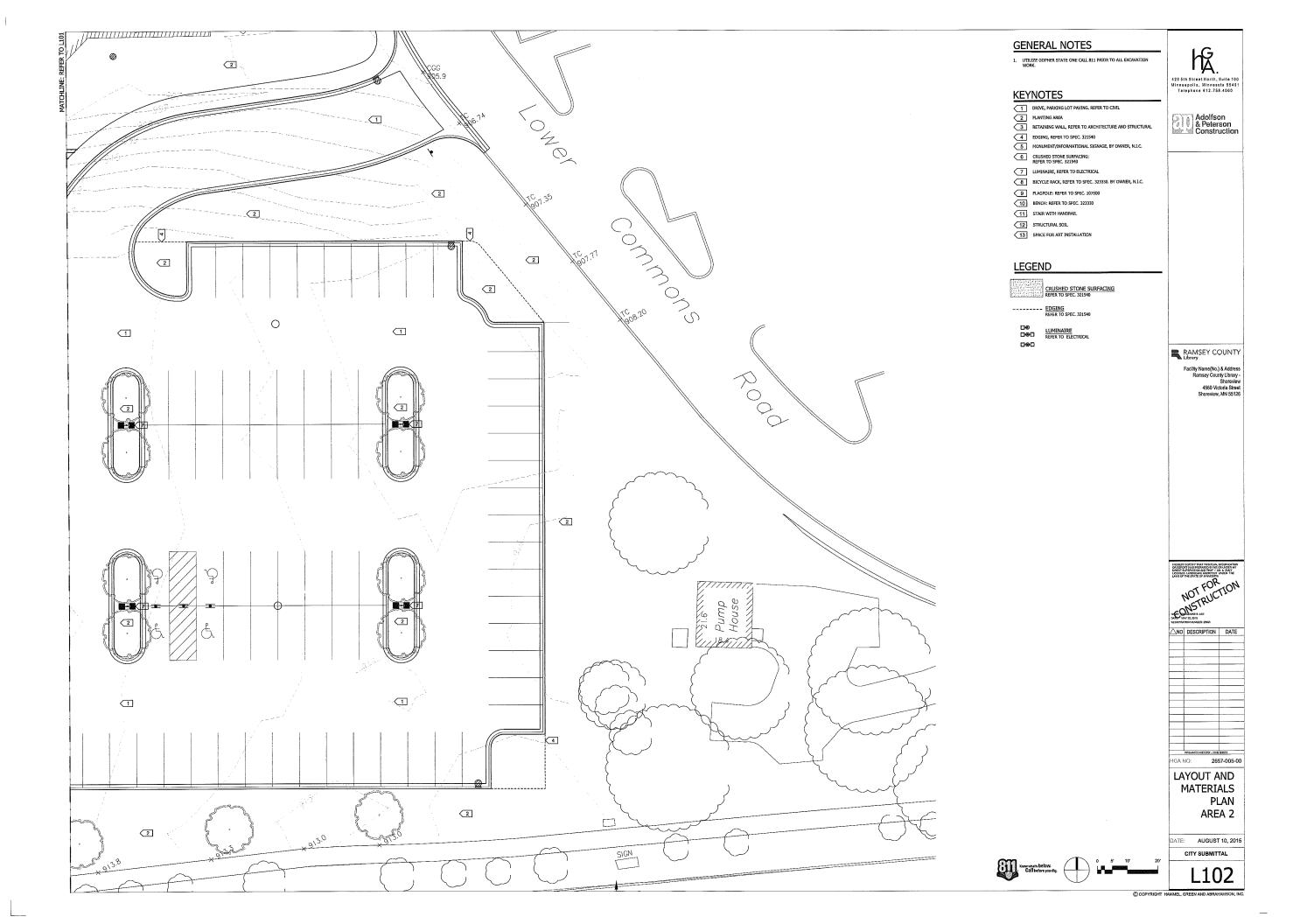
OVERFLOW HOLES (2" WIDE x 4" TALL HOLE HEAT CUT INTO ALL FOUR SIDE PANELS, 12"

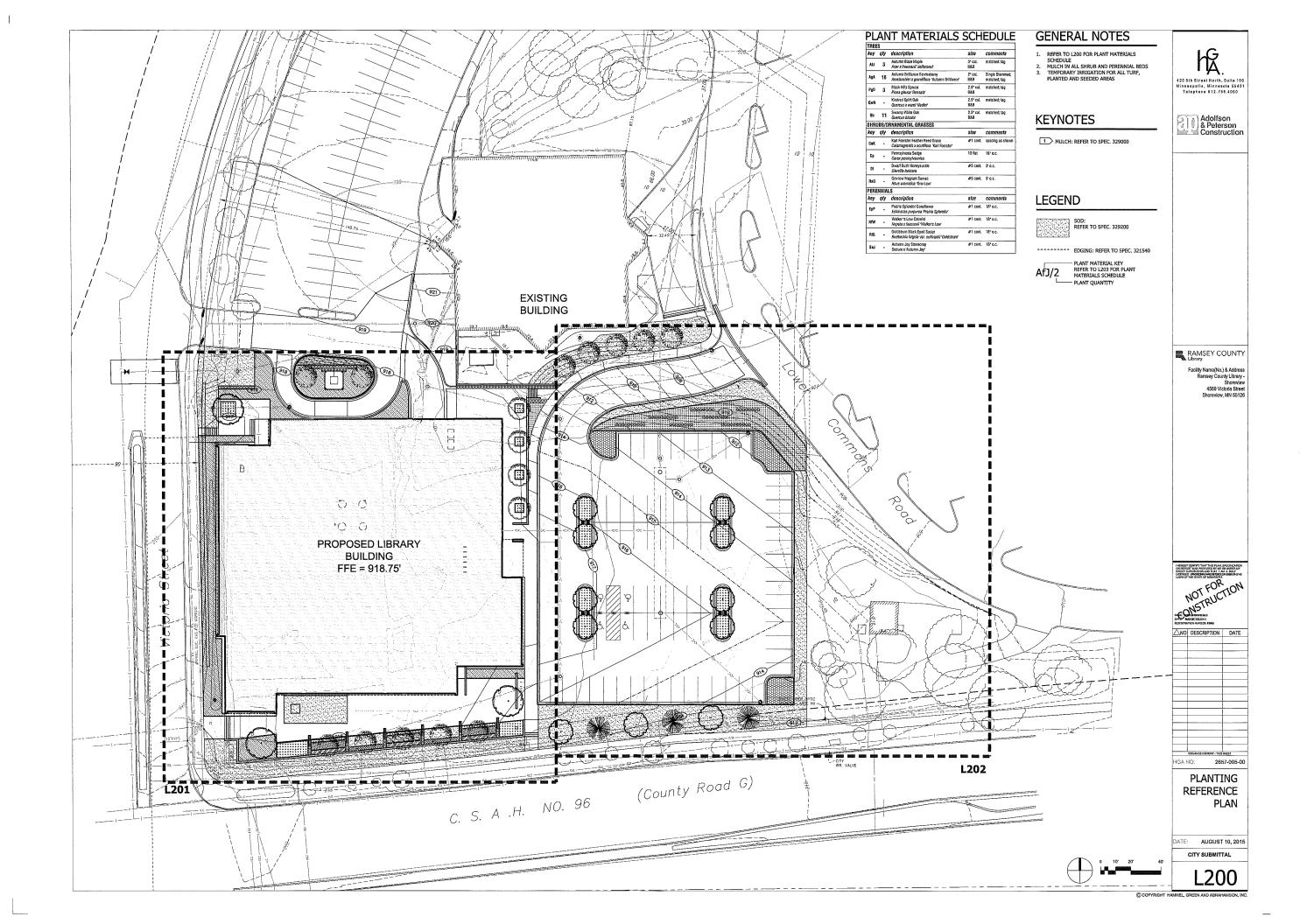
ABOVE BOTTOM OF

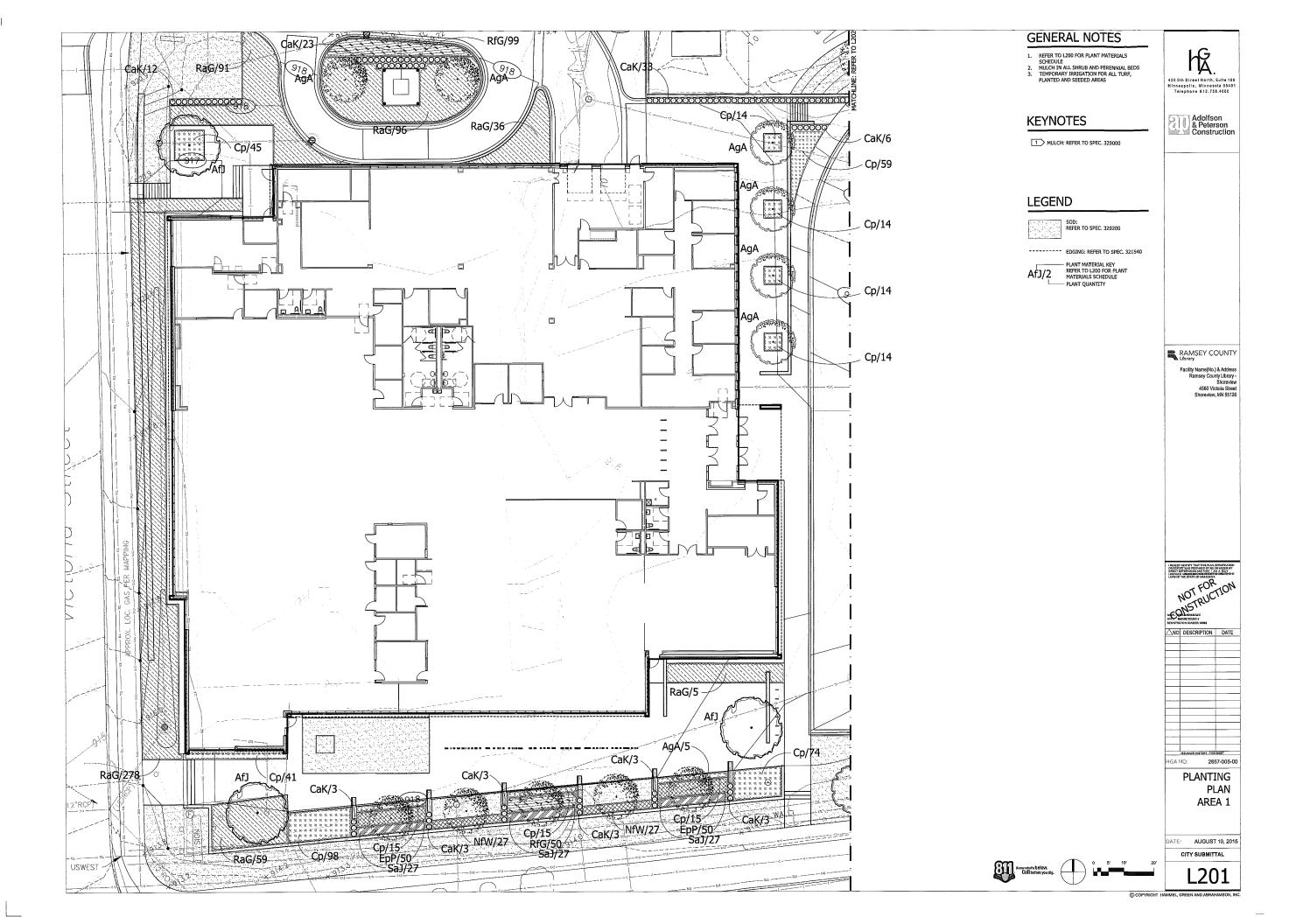


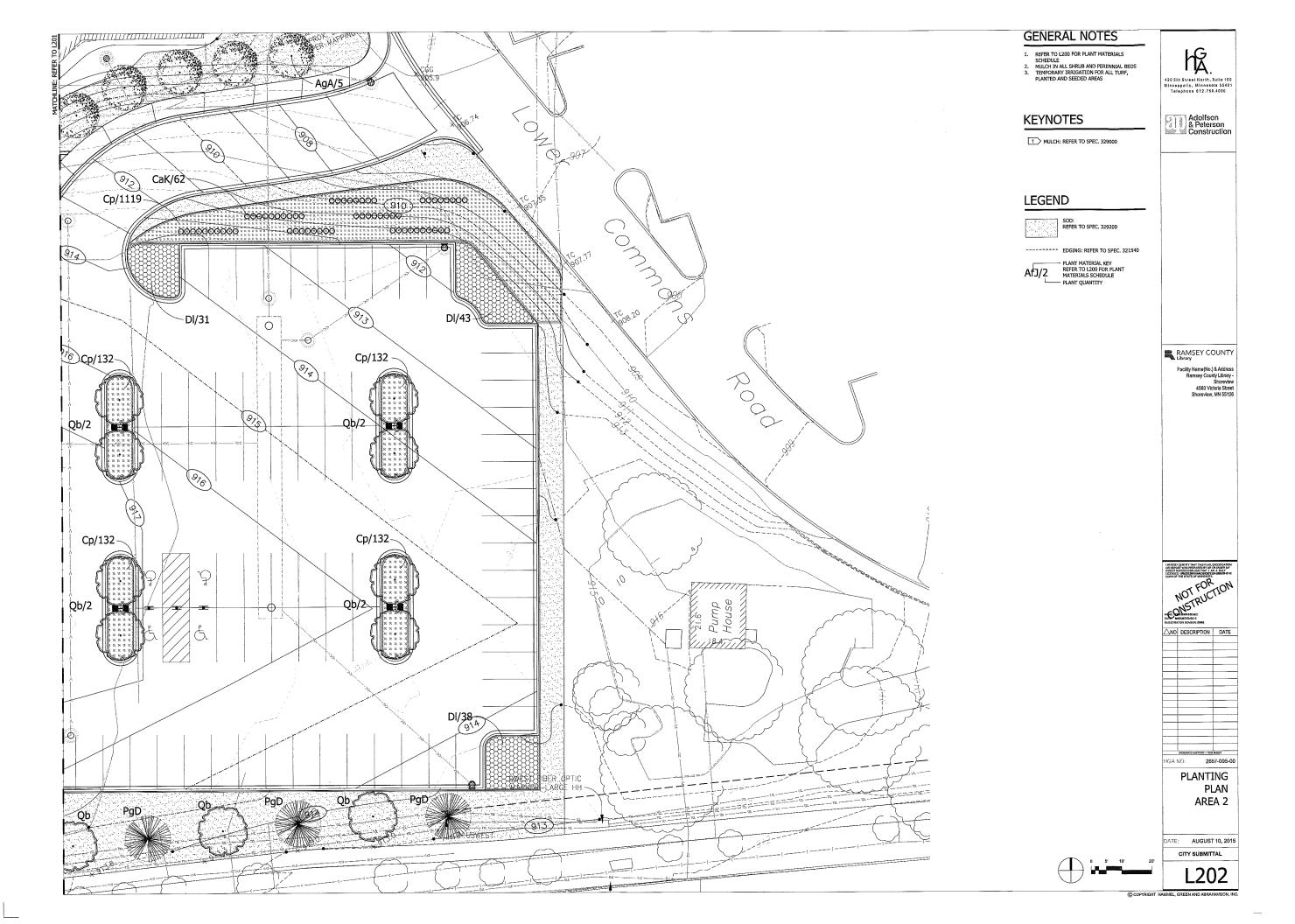




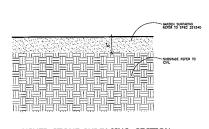




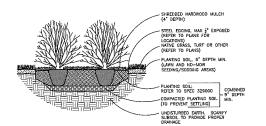




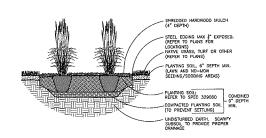




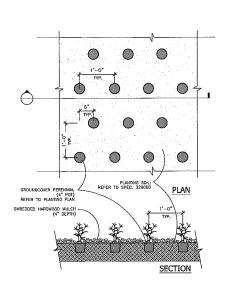
7 CRUSHED STONE SURFACING: SECTION



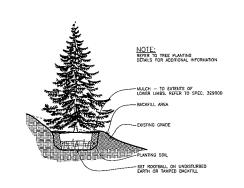
6 SHRUB PLANTING



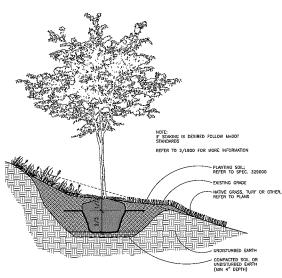
ORNAMENTAL GRASS PLANTING
NO SCALE



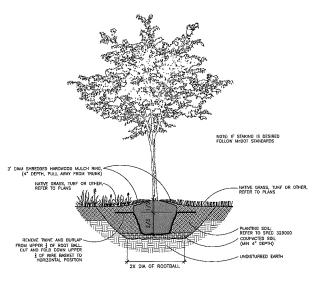
2 GROUNDCOVER PLANTING
NO SCALE



5 CONIFEROUS TREE: HILLSIDE PLANTING



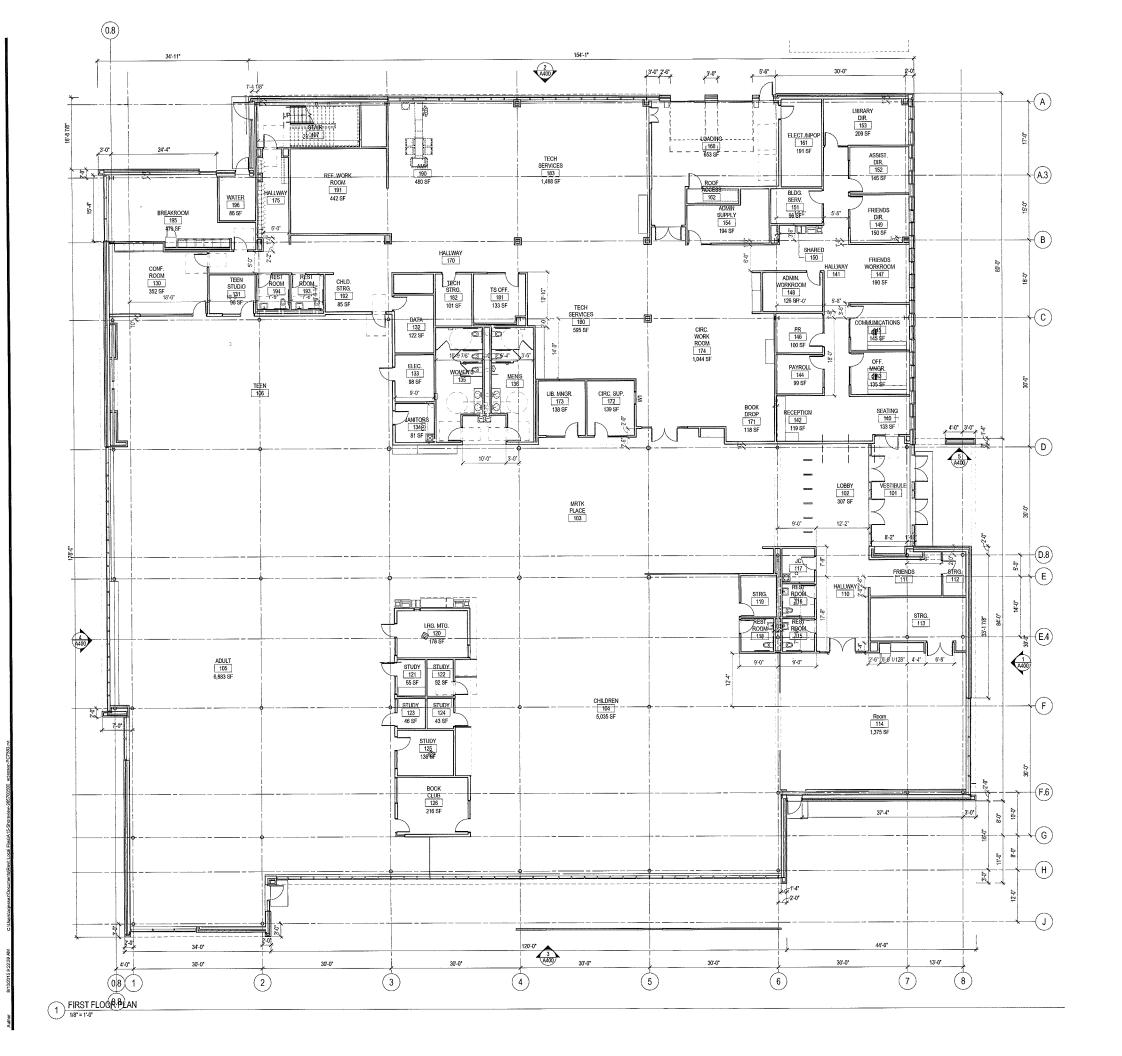
3 DECIDUOUS TREE: HILLSIDE PLANTING



DECIDUOUS TREE PLANTING

NO SCALE

© COPYRIGHT HAMMEL, GREEN AND ABRAHAMSON, INC.





Adolfson & Peterson Construction

RAMSEY COUNTY

Facility Name(No.) &Address Ramsey County Library -Shoreview 4560 Victoria Street Shoreview, MN 55126

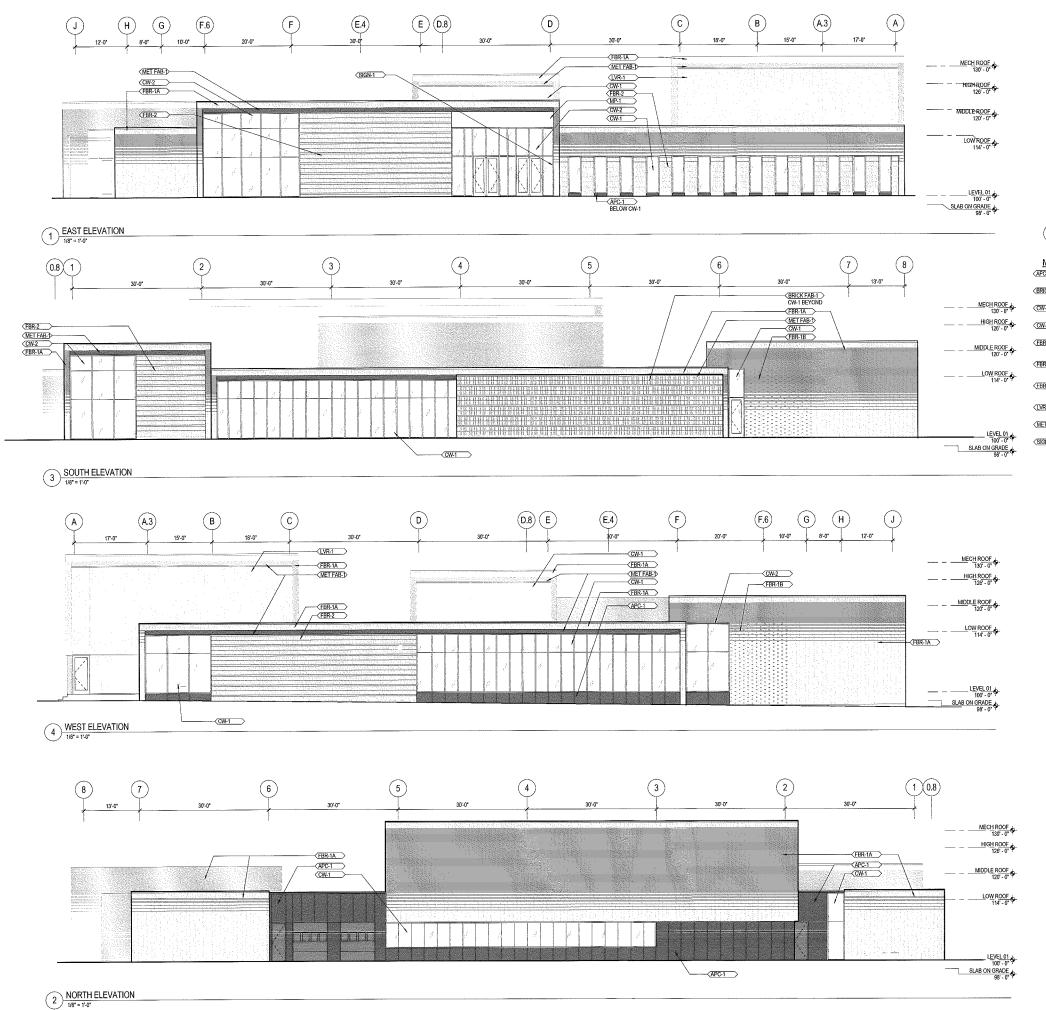


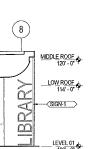
DATE: AUGUST 10, 2015
CITY SUBMITTAL

 \ominus

A210

PLAN







Adolfson & Peterson Construction

5 ENTRY ELEVATION - NORTH

MATERIAL ID KEY - EXTERIOR ELEVATIONS

APC-1 ARCHITECTURAL PRECAST CLADDING COLOR: CHARCOAL

⟨BRICK FAB-1⟩ <FBR-2> BRICK SCREEN WALL

CW-1 CURTAIN WALL - LOW/PUNCHED OPENINGS

CW-2 CURTAIN WALL - LARGE OPENINGS

FBR-1A PRIMARY BRICK FIELD SIZE: NORMAN - PRIMARY
COLOR: EARTHY RED BRICK
FBR-1B PRIMARY BRICK FIELD - PATTERNED

IB PRIMARY BRICK FIELD - PATTERNED SIZE: NORMAN - PRIMARY COLOR: EARTHY RED BRICK

R:2 ACCENT BRICK FIELD
SIZE: VARIES
COLOR: COMPLIMENTARY EARTHY RED BRICK

COLOR: COMPLIMENTARY EARTHY RED B

(LVR-1 LOUVERS - VERTICALLY ORIENTATED

COLOR: CHARCOAL

MET FAB- D GALV STEEL CHANNEL OR METAL PANEL COLOR: CHARCOAL

SIGN-1 GRAPHIC SIGNAGE AT ENTRY MATERIAL: BACK PAINTED AND BACKLIT HEIGHT: 30" LETTERS

RAMSEY COUNTY

Facility Name(No.) &Address Ramsey County Library -Shoreview 4560 Victoria Street Shoreview, MN 55126



EXTERIOR ELEVATIONS

DATE: AUGUST 10, 2015

CITY SUBMITTAL

A400

© COPYRIGHT HAMMEL, GREEN AND ABRAHAMSON, INC.



PERSPECTIVE - SE CORNER



PERSPECTIVE - NE CORNER

MATERIAL ID KEY - EXTERIOR ELEVATIONS ARCHITECTURAL PRECAST CLADDING COLOR: CHARCOAL

(BRICK FAB-1) <FBR-2> BRICK SCREEN WALL

CURTAIN WALL - LARGE OPENINGS

PRIMARY BRICK FIELD SIZE: NORMAN - PRIMARY
COLOR: EARTHY RED BRICK
PRIMARY BRICK FIELD - PATTERNED
SIZE: NORMAN - PRIMARY
COLOR: EARTHY RED BRICK
ACCENT BRICK FIELD
SIZE: VANIES
COLOR: COMPLIMENTARY EARTHY RED BRICK
LOUVERS - VERTICALLY ONIENTATED
COLOR: CHAROOAL
GAUS STEEL CHANNEL OR METAL PANEL

GALV STEEL CHANNEL OR METAL PANEL COLOR: CHARCOAL (MET FAB-1)

GRAPHIC SIGNAGE AT ENTRY
MATERIAL BACK PAINTED AND BACKUT
HEIGHT: 30" LETTERS

420 Stit Street North, Swite 180 Minneapolis, Minnesota 05401 Telephone 612 758 4000

Adolfson & Peterson Construction





EXTERIOR **IMAGES**

DATE: AUGUST 10, 2015 CITY SUBMITTAL

A440A

COPYRIGHT HAMMEL, GREEN AND ARRAHAMSON, INC.



PERSPECTIVE - SW CORNER CLOSE



PERSPECTIVE - SW CORNER



MATERIAL ID KEY - EXTERIOR ELEVATIONS

(APC-1) ARCHITECTURAL PRECAST CLADDING COLOR: CHARCOAL (BRICK FAB-1) <FBR-2> BRICK SCREEN WALL

⟨CW-1⟩ CURTAIN WALL - LOWIPUNCHED OPENINGS

PRIMARY BUICK FIELD SZE: NORMAN - PRIMARY
COLOR: EARTHY RED BRICK
PRIMARY BRICK FIELD - PATTERNED
SIZE: NORMAN - PRIMARY
COLOR: EARTHY RED BRICK
ACOENT BRICK FIELD
SIZE: VARIES
COLOR: COMPLIMENTARY EARTHY RED BRICK
LOLVERS - VERTICALLY ORIENTATED
COLOR: CHARGOAL
GUILD METAL PANEL

(MET FAB-1) GALV STEEL CHANNEL OR METAL PANEL COLOR: CHARCOAL

\(\) SIGN-1 \(\) GRAPHIC SIGNAGE AT ENTRY MATERIAL: BACK PAINTED AND BACKLIT HEIGHT: 3'0" LETTERS

Adolfson & Peterson Construction

RAMSEY COUNTY

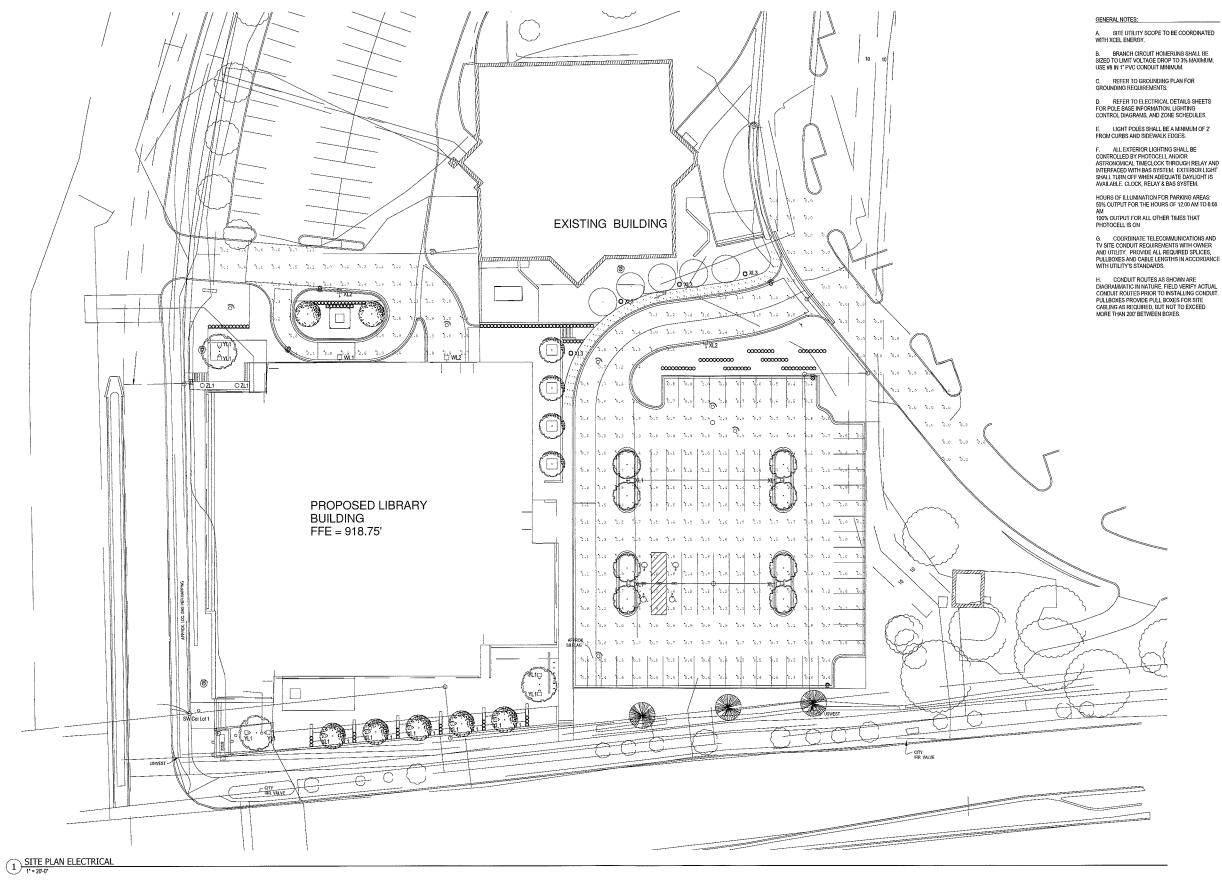
Facility Name(No.) &Address Remsey County Library -Shoreview 4560 Victoria Street Shoreview, MN 55126



EXTERIOR IMAGES

DATE: AUGUST 10, 2015 CITY SUBMITTAL

A440B



WATTS MANUFACTURER CATALOG NUMBER
35 VA PHILIPS GARDCO AEROSCAPE SERIES
35 VA PHILIPS GARDCO AEROSCAPE SERIES
90 VA PHILIPS GARDCO AEROSCAPE SERIES
90 VA PHILIPS GARDCO AEROSCAPE SERIES
90 VA PHILIPS GARDCO AEROSCAPE SERIES
48 VA BEGA 7120LED
9 VA BEGA 50 SLED 44 SERIES
19 VA BEGA 8554LED

ALTERNATE MANUFACTURERS

OR APPROVED FOUAL OR APPROVED EQUAL OR APPROVED EQUAL OR APPROVED EQUAL

OR APPROVED EQUAL OR APPROVED EQUAL OR APPROVED EQUAL

NOTES

SITE LUMINAIRE SCHEDULE

VOLTAGE

LAMPILUMENS

277 V 3500 LMS LED 4000K

277 V 3500 LMS LED 4000K

277 V 9700 LMS LED 4000K

277 V 9700 LMS LED 4000K

277 V 9700 LMS LED 4000K

277 V 1950 LMS LED 4000K

277 V 350 LMS LED 4000K

277 V 300 LMS LED 4000K

DIMMABLE

MULL MOUNTED TYPE 2 DISTRIBUTION, BRONZE FINISH, DIMMABLE
TYPE 4 DISTRIBUTION, BRONZE FINISH
DOLE MOUNTED AREA LIGHT, SINGLE HEAD 20 POLE, CONCRETE BASE
TYPE 2 DISTRIBUTION, BRONZE FINISH
TYPE 4 D

TYPE DESCRIPTION
W.1 LED AREA LIGHT
W.2 LED AREA LIGHT
XL1 POLE MOUNTED AREA LIGHT, S
XL2 POLE MOUNTED AREA LIGHT, S
XL3 POST TOP PEDESTRIAN AREA I
YL1 GROUND MOUNTED TREE FLOX
ZL1 BOLLARD

420 5th Street North, Suite 100 Minneapolis, Minnesota 5549 Telephone 612,758,4000

Adolfson & Peterson Construction

RAMSEY COUNTY

Facility Name(No.) &Address Ramsey County Library -Shoreview 4560 Victoria Street Shoreview, MN 55126

PARTY OF THE THIS THE PARTY OF HGA NO: 2657-005-00

> PHOTOMETRIC SITE PLAN

DATE: AUGUST 10, 2015 CITY SUBMITTAL



E030.1

© COPYRIGHT HAMMEL, GREEN AND ABRAHAMSON, INC

PROPOSED MOTION

MOVED BY COUNCIL MEMBER				
SECONDED	BY COUNCIL MEMBER			

To approve the Preliminary Plat, Site and Building Plan review and Special Fence Permit applications submitted by Oak Hill Montessori School, 4665 Hodgson Road, for a parking lot expansion. Said approval is subject to the following:

4685/4693 Hodgson Road

Preliminary Plat

- 1. The Final Plat shall include drainage and utility easements along all property lines. Drainage and utility easements along the roadways shall be 10 feet wide and 5 feet wide along the side and rear lot lines. Other drainage and utility easements may be required by the Public Works Director.
- 2. The applicant shall execute an agreement for this Plat and the Oak Hill Montessori Plat addressing the shared driveway, parking and maintenance. Said agreements shall be submitted to the City Attorney for review and approval prior to the City's release of the Final Plat.

4665/4685/4693 Hodgson Road

Site and Building Plan Review - Phase 1 only

- 1. This approval permits the Phase 1 expansion of the parking lot for Oak Hill Montessori School in accordance with the plans dated July 28, 2015. The plans are subject to revisions as specified in the conditions.
- 2. Approval of the final grading, drainage, utility, and erosion control plans by the Public Works Director, prior to the issuance of a building permit for this project.
- 3. The applicant is required to enter into a Site Development Agreement and Erosion Control Agreement with the City. Said agreements shall be executed prior to the issuance of any permits for this project.
- 4. A Special Fence Permit is required for the proposed 6-foot tall fence along the northern lot line of 4693 Hodgson Road.
- 5. Landmark trees will need to be replaced in accordance with the City's tree replacement ordinance, Section 209.050.
- 6. The Landscape Plan shall be revised to include the replacement trees required for the removal of the landmark trees. Landscaping shall be installed in accordance with submitted plan.
- 7. The applicant shall address the comments from the City Engineer prior to the issuance of a building permit.

8. Prior to the issuance of a grading permit, the applicant shall receive the needed approvals from the Ramsey Washington Metro Watershed District and Ramsey County.

4693 Hodgson Road

Special Fence Permit

- 1. This approval permits the construction of a 6-foot tall wooden privacy fence along the northern lot line located in the front yard of the property at 4693 Hodgson Road.
- 2. A fence permit is required to install the proposed 6-foot tall fence.
- 3. The fence shall be setback a minimum of 20-feet from the Hodgson Road right-of-way line.
- 4. Landscaping shall be installed as indicated on the submitted landscape plan.

This approval is based on the following findings of fact:

- 1. The proposed land use is consistent with the designated Inst, Institutional land use of the Comprehensive Plan.
- 2. The proposed lots as identified in the preliminary plat comply with the O, Office District standards.
- 3. The proposed development complies with the standards identified in the City's Development Code.
- 4. The proposed improvements meet the spirit and intent of the Comprehensive Plan and the Development Code.

ROLL CALL:	AYES	NAYS	
Johnson			
Quigley			
Springhorn			
Wickstrom			
Martin		MILE TO THE PARTY OF THE PARTY	

Regular City Council Meeting

September 8, 2015

TO:

Mayor, City Council, City Manager

FROM:

Kathleen Castle, City Planner

DATE:

September 4, 2015

SUBJECT:

2589-15-32, Preliminary Plat/Site and Building Plan Review/Special Fence

Permit: Rylaur, LLC - Oak Hill Montessori School, 4665/46854693 Hodgson

Road

INTRODUCTION

Oak Hill Montessori School, 4665 Hodgson Road, is proposing to expand the existing parking lot to improve traffic flow through the site and provide additional off-street parking for the school and administrative office located at 4693 Hodgson Road. The existing home at 4685 Hodgson Road, and other site improvements, would be removed for the expansion. The expansion is planned in two phases. Construction of the Phase 1 parking expansion is expected this year. While there is no definitive timeframe for Phase 2, it is anticipated that this expansion may occur in the next 3 to 5 years. Oak Hill will need to submit a Site and Building Plan Review application for Phase 2 at that time.

The following applications have been submitted for this project:

4685/4693 Hodgson Road

Preliminary Plat – Re-plat the property into one parcel

4665/4685/4693 Hodgson Road

Site and Building Plan Review – For the expansion of the off-street parking lot

4693 Hodgson Road

Special Fence Permit – For a 6-foot tall privacy fence located along the side property line in the front yard

SITE CHARACTERISTICS

The school property includes three parcels, 4665, 4685 and 4693 Hodgson Road. The school facility and related improvements (outdoor play areas, off-street parking lot, and stormwater ponding) are located at 4665 Hodgson Road. This property has an area of 4.52 acres.

The property at 4685 Hodgson Road is approximately .95 acres in size and has a width of 101 feet along Hodgson Road and a depth of 411 feet. The property is improved with a single-family home; two detached accessory structures and has an access to Hodgson Road. Oak Hill has previously used the rear portion of the site for school related activities including field games, gardening and one special event. The single-family home has also been rented out in the past. These improvements will be removed for the proposed parking lot.

4693 Hodgson Road was recently divided with the rear part of this property being combined with the property to the west at 4694 Mackubin Street. This parcel has a lot area of .85 acres, a width of 109 feet along Hodgson Road and a depth of 368 feet. It is also improved with a single-family home including a detached garage and driveway providing access to Hodgson Road. Oak Hill received Council approval to allow the conversion of the home to office for the school's administrative staff. The required agreements have been executed and the home is currently being remodeled for this change in use.

PROJECT DESCRIPTION

The applications submitted are the second phase of planned improvements for Oak Hill Montessori School campus. This phase consists of removing the existing home and other site improvements at 4685 Hodgson Road, expanding the parking area and providing a new access driveway to Hodgson Road. The properties at 4685 and 4693 will not be used for other school related activities with the exception of the office use.

The proposed parking lot expansion is planned in two phases. The first phase includes the expansion of the existing parking lot, a new access driveway with additional parking on the two former residential properties. The second phase identifies the future expansion of the parking area along with the construction of stormwater management infrastructure. Due to the timeframe proposed for Phase 2, this phase is not being presented to the Council as part of the Site and Building Plan review application. Phase 2 would require City approvals in the future.

COMPREHENSIVE PLAN

The designated land use for the three properties is INST, Institutional. The private school use of the property is consistent with this land use designation.

The properties at 4685/4693 Hodgson Road are also located in Policy Development Area # 9, Hodgson Road Residential Area, which includes the single family homes on the west side of Hodgson Road. PDA's have been established in areas where parcels may be underdeveloped, pose concerns or present opportunities for development/redevelopment. With the exception of these two properties, the designated land use for this area is RL, Low Density Residential (0 to 4 units per acre) and RM, Medium Density Residential (4 to 8 units per acre). One policy for this PDA states that the expansion of the School campus may be an appropriate use of the southern part of the area, provided traffic demand management and buffering from the adjoining residential uses are incorporated into the expansion plans

DEVELOPMENT CODE REQUIREMENTS

The properties are zoned O, Office which allows private schools as a permitted use.

Properties in the O, Office District (Section 205.044) are required to have a minimum lot width of 100 feet. Structures must maintain the following minimum setbacks: front yard of 50 feet; side yard of 10 feet, except that on the side yard of a corner lot the setback shall be 30 feet; and

rear yard of 20 feet; provided however that in all circumstances where an Office District abuts property planned for residential use, there shall be a minimum setback of 50 feet from the residential property line. The maximum lot coverage cannot exceed 70% but can be increased to 75% if best management practice measures are taken to minimize negative effects on the environment.

The Site and Building Plan review process (Section 203.041) enables the City to publically review the plans and determine the impacts on the planned land use of adjoining properties. The City Council has the authority to approve the proposed use upon the finding that it will not impede or otherwise conflict with the planned use of adjoining property (Section 205.044 (B)). Conditions may be attached to an approval insuring that the use will not interfere with the planned land use of the surrounding property.

Fences for special purposes and fences differing in construction, height, or length, may be permitted in any district in the City by the issuance of a special fence permit approved by the City Council (Section 203.042).

STAFF REVIEW

Preliminary Plat – 4685/4693 Hodgson Road

The preliminary plat, Oak Hill Montessori School Second Addition, was reviewed in accordance with the City's subdivision requirements and zoning standards for properties in the Office Zoning District. The plat combines the two properties into one lot. The plat complies with the City requirements. The proposed parcel has an area of 1.83 acres and a width of 219.64' along Hodgson Road. Drainage and utility easements are required to along the property lines. Future easements may be required over stormwater infrastructure when Phase 2 of the parking area is constructed. A shared driveway and parking agreement is also required with the main school property at 4665 Hodgson Road.

Site and Building Plan Review/Special Fence Permit

Oak Hill is now moving forward with the parking lot expansion and improving access and traffic flow through the site. As stated earlier, the expansion of the parking area is planned in two phases and only Phase 1 is being presented to the Council for review.

Parking Lot Expansion

The existing parking lot for Oak Hill has 42 parking stalls available to employees, parents and guests. The design proposes additional parking immediately north of the existing parking lot and parking on the 4685 and 4693 properties. The number of stalls provided on site will increase to 85 with this expansion. A new access driveway will be installed on the 4693 property and is designed to accommodate buses entering the site. The existing access drive on 4665 would be redesigned from a full access to a right-out only. The parking lot design and access driveways are intended to improve traffic flow through the school property.

The school has 11 classrooms (including the infant room) requiring a minimum of 16.5 parking stalls be provided on-site (Section 206.020 (B2c)). The office use requires 4 stalls (Section 206.020 (B1b)). The proposed number of stalls (85) exceed the minimum number of stalls required (20.5). The expansion is needed to replace 23 existing parking stalls located on the property immediately to the south at 441 Highway 96 (former Rainbow Foods Grocery Store) used by the Oak Hill staff (36 staff members including part-time staff). Oak Hill will no longer have access to these spaces when the property is redeveloped or re-purposed. While the number of stalls exceeds the minimum number permitted, the parking area is designed to accommodate peak demand which generally occurs with special events.

Landscaping and Buffering

In the Office District, a minimum 20-foot setback is required for parking lots adjacent to low density residential uses (Section 206.010 (I)). Within this area, a landscape screen is required and may consist of landscaping, berming, fencing or a combination thereof.

Oak Hill is proposing to retain two existing trees located north of the proposed parking area and install a 6-foot tall privacy fence that would match an existing fence on the property. This fence would be installed along the north property line from the front wall of the detached garage to the front property line. In accordance with the Development Code standards, the fence height is limited to 4' since it is located within a front yard and adjacent to a residential district (Section 205.040 (9aii)), unless a Special Fence Permit is granted by the City Council. Staff is recommending the approval of a Special Fence Permit to allow the 6-foot tall fence.

The proposed fence would be setback approximately 20-feet from the Hodgson Road Right of Way and should not present a traffic visibility issue for Oak Hill or the residential property to the north at 4701 Hodgson Road. The adjoining residential property owner to the north has indicated that he is not opposed to a 6-foot tall fence. Supplemental plantings are to soften the visual impact of the fence.

The parking lot expansion will result in the removal of two landmark trees. These trees, if deemed to be healthy, will need to be replaced at a ratio of 6:1.

Stormwater Management

The property has a site area of approximately 6.3 acres. The existing impervious surface coverage is 1.58 acres or 25% of the site area. Stormwater run-off generated by the existing school improvements flows into a storm sewer system that directs water into a storm drainage pond located in the southwestern corner of the property. This pond was sized to accommodate the expansion of the existing parking lot with an additional 24 stalls.

The proposed parking lot design for Phase 1 includes an outer driveway, with adjacent parking, and is designed to have stormwater flow to a central green space. This green space will be used for stormwater run-off storage and treatment until Phase 2 is constructed. Impervious surface coverage will increase to 31%.

The parking improvements for Phase 2 may include a pervious material to reduce storm-water runoff and the need for ponding. Additional study is needed to determine if this is feasible. As an alternative, a stormwater management plan has been designed and includes a storm sewer collection system and a stormwater treatment basin. Sediment would be removed through the use of the stormwater infrastructure and the basin is designed to provide infiltration for volume control. Rate control would be provided by an outlet control structure. This pond will discharge into the existing storm sewer system. Best management practices will be used during the construction process for erosion control. Impervious surface coverage will increase to 39% when the second phase is completed.

The property is in the Ramsey Washington Metro Watershed District. A permit is required for the proposed improvements.

PUBLIC/AGENCY COMMENT

Property owners within 350-feet were notified of the request. Any comments received are attached to this report.

The Lake Johanna Fire Marshal also reviewed the plans and provided comments related to the design of the right-out only entrance driveway. The access drive was modified to the Fire Marshal's satisfaction.

Ramsey Washington Metro Watershed District indicated that the applicant has submitted an application for a grading permit.

PLANNING COMMISSION REVIEW

The Planning Commission reviewed the preliminary plat and site and building plan review applications at their August 25th meeting. The Commission discussed the entry driveways and traffic circulation throughout the site, including Phase 2. The proposed landscaping and fencing were also discussed. The Commission generally supported a 6-foot tall fence along the common lot line with the residential property to the north and encouraged Oak Hill to apply for a Special Fence Permit.

RECOMMENDATION

The preliminary plat and development plans have been reviewed in accordance with the Comprehensive Plan and Development Code. The plat is consistent with the subdivision standards and the lot requirements for properties in the Office district. The parking lot expansion is consistent with the Development Code standards and includes screening along the northern lot line adjacent to the single-family residential use. The Staff is recommending the City Council approve the applications, subject to the following conditions:

Preliminary Plat

- 1. The Final Plat shall include drainage and utility easements along all property lines. Drainage and utility easements along the roadways shall be 10 feet wide and 5 feet wide along the side and rear lot lines. Other drainage and utility easements may be required by the Public Works Director.
- 2. The applicant shall execute an agreement for this Plat and the Oak Hill Montessori Plat addressing the shared driveway, parking and maintenance. Said agreements shall be submitted to the City Attorney for review and approval prior to the City's release of the Final Plat.

Site and Building Plan Review - Phase 1 only

- 1. This approval permits the Phase 1 expansion of the parking lot for Oak Hill Montessori School in accordance with the plans dated July 28, 2015. The plans are subject to revisions as specified in the conditions.
- 2. Approval of the final grading, drainage, utility, and erosion control plans by the Public Works Director, prior to the issuance of a building permit for this project.
- 3. The applicant is required to enter into a Site Development Agreement and Erosion Control Agreement with the City. Said agreements shall be executed prior to the issuance of any permits for this project.
- 4. A Special Fence Permit is required for the proposed 6-foot tall fence along the northern lot line of 4693 Hodgson Road.
- 5. Landmark trees will need to be replaced in accordance with the City's tree replacement ordinance, Section 209.050.
- 6. The Landscape Plan shall be revised to include the replacement trees required for the removal of the landmark trees. Landscaping shall be installed in accordance with submitted plan.
- 7. The applicant shall address the comments from the City Engineer prior to the issuance of a building permit.
- 8. Prior to the issuance of a grading permit, the applicant shall receive the needed approvals from the Ramsey Washington Metro Watershed District and Ramsey County.

Special Fence Permit

- 1. This approval permits the construction of a 6-foot tall wooden privacy fence along the northern lot line located in the front yard of the property at 4693 Hodgson Road.
- 2. A fence permit is required to install the proposed 6-foot tall fence.
- 3. The fence shall be setback a minimum of 20-feet from the Hodgson Road right-of-way line.
- 4. Landscaping shall be installed as indicated on the submitted landscape plan.

Attachments

- 1) Memo Tom Wesolowski, City Engineer
- 2) Email Ramsey Washington Metro Watershed District
- 3) Aerial Location Map

- 4) Pictometry Photos
- 5) Applicant's Statement6) Submitted Plans
- 7) Request for Comment
- 8) Planning Commission Minutes August 25, 2015
- 9) Motion

T:\2015 Planning Cases files\2589-15-32 Oakhill Montessori School\08-25-15ccreport.docx

Date:

August 20, 2015

To:

Kathleen Castle, City Planner

From:

Tom Wesolowski, City Engineer

Subject:

Oak Hill Montessori School – Parking Lot Expansion Preliminary Plat and Site & Building Plan Review

The City of Shoreview Engineering staff has reviewed the preliminary plat and site and building plan application for the parking lot expansion for the Oak Hill Montessori School and has the following comments:

- 1. The proposed project is located within the jurisdiction of the Ramsey-Washington Metro Watershed District (RWMWD). The parking lot expansion is shown occurring in two phases with a drive way ring road and adjacent parking being constructed now and a larger parking are being constructed inside the ring road in 3-5-years. Given the sized o each phase a RWMWD permit may not be required. The school will need to contact the RWMWD to determine if a permit is required. If a permit is not required the requirements in the City's Surface Water Management Plan (SWMP) will govern.
- 2. A stormwater management plan signed by a registered engineering was submitted with the application.
 - a. For the first phase of the parking lot expansion runoff from the ring road and parking areas would be directed to the existing grass low area inside the ring road area where it would be retained and allowed to infiltrate, which would meet the requirements of the City's SWMP.
 - b. For the second phase of the parking lot expansion a stormwater collection system consisting of catch basin inlets and underground piping would be installed to collect the runoff from the parking area and direct it to an infiltration area that would be located west of the parking area. The infiltration area would overflow to an existing storm pond that currently receives runoff from the project site. The proposed stormwater treatment would meet the requirements of the City's SWMP.
- 3. The applicant is requesting approval of both phases of the parking lot expansion at this time. Staff has reservations about approving the second phase of the expansion given the second phase is not expected to be completed in 3-5-years. The City's SWMP is scheduled to be revised in 2016 and the proposed stormwater improvements for the second phase may not meet the requirements revised plan. It is recommended the second phase of the parking lot expansion not be approved at this time.
- 4. The plans show construction work will occur in the Hodgson Road right of way. Hodgson Road is under the jurisdiction of Ramsey County and a permit will be required from the County for any work that occurs in the right of way.
- 5. Escrows will be required for any trail sections that will be removed and replaced as part of the project. An erosion control escrow will also be required.



Kathleen Castle <kcastle@shoreviewmn.gov>

Oak Hill: Tree Removals

1 message

A. Peter Hilger <philger@rylaur.com>

Thu, Aug 20, 2015 at 11:30 AM

To: Kathleen Castle <kcastle@shoreviewmn.gov>

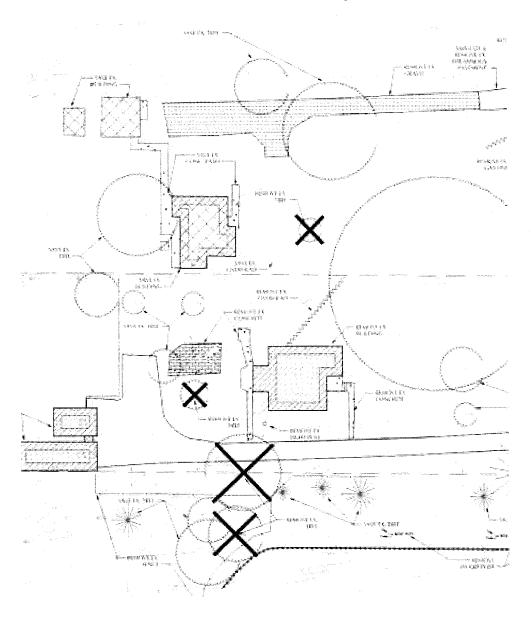
Cc: Carmen Simonet <carmen@simonetdesign.com>, Kathy Anderson <kathya@oakhillmontessori.org>, Jean Melancon <melancon.jean@gmail.com>

Kathleen,

Got your VM: Here is the removals plan, sheet C 1.2:







These two trees are 20" and 28" Silver Maples.

The other two are less than 15" caliper.

In Phase 2, the big 80" Silver Maple would be removed. The Silver Maples have been a maintenance issue, weak wooded and dropping branches frequently - not the best tree, especially for a parking lot.

We have modified our design to keep the large legacy Locust on the north side of the lot.

Please advise of this "Legacy Tree" impact. Thanks.



Kathleen Castle < kcastle@shoreviewmn.gov>

Fwd: FW: Oak Hill Montessori Initial Review Comments

1 message

Tom Wesolowski <twesolowski@shoreviewmn.gov>
To: Kathleen Castle <kcastle@shoreviewmn.gov>

Mon, Aug 24, 2015 at 9:02 AM

Kathleen.

Here are the comments from Ramsey-Washington for the Oak Hill Montessori.

Thanks, Tom

----- Forwarded message -----

From: Tom Wesolowski <twesolowski@shoreviewmn.gov>

Date: Monday, August 24, 2015

Subject: FW: Oak Hill Montessori Initial Review Comments

To: Paige Ahlborg <paige.ahlborg@rwmwd.org>

Thank you for the information Paige.

Tom

On Monday, August 24, 2015, Paige Ahlborg <paige.ahlborg@rwmwd.org> wrote:

Hi Tom,

Below are the comments I sent to Todd McLouth on Friday regarding the permitting of Oak Hill Montessori. We spoke shortly afterwards, and he was very understanding of this. He is going to have the revised plans and calcs to me by Wednesday.

Paige Ahlborg Watershed Project Manager Ramsey-Washington Metro Watershed District 2665 Noel Drive Little Canada, MN 55117 Office: (651)792-7964

Follow the District on Twitter & Like Us on Facebook.

From: Paige Ahlborg

Sent: Friday, August 21, 2015 10:00 AM **To:** Todd McLouth (TMcLouth@loucksinc.com)

Cc: Nicole Soderholm

Subject: Oak Hill Montessori Initial Review Comments

Hi Todd,

Our engineer and I had a chance to review the permit application for the Oak Hill Montessori. Below are the comments we had regarding the submittal. Items 1-7 must be addressed by noon on August 26. Upon review of updated plans and calculations, we will determine if documentation is sufficient to move forward with board approval on September 9. If information is not received by August 26 or if it is insufficient, the application will be pulled until the October 7 board meeting. Please let me know if you have any questions as you go through these items.

- 1. Review at this time only covers Phase 1 because Phase 2 is not confirmed to start in the next 2 years.
 - A permit will be needed for both phases because the total common plan of development is over one acre.
- 2. Phase 2 includes all stormwater treatment and is not planned to start until an undetermined future date. Phase 1 needs to provide interim stormwater treatment to comply with rules until Phase 2 is installed.
 - Submit volume reduction calculations showing 1.1" of infiltration credits are being provided for the interim conditions.
- 3. Nested or NRCS rainfall distribution shall be used for HydroCAD analysis. Please rerun with exfiltration turned off or use a curve number that reflects impervious surface.
- 4. Provide all hydrologic, water quality, and hydraulic computations for Phase 1 BMPs.
- 5. Include details for all Phase 1 BMPs: NWL, HWL, inlets, outlets, and emergency overflows.
- 6. The Volume Reduction Worksheet submitted for the proposed basin in Phase 2 is filled out incorrectly. The amount of volume reduction shown in HydroCAD does not match what is shown on Table D of the Volume Reduction Worksheet. HydroCAD numbers show that the basin does not provide enough volume reduction for the entire Phase 1 and Phase 2 area.
- 7. Verify all freeboard requirements are met with final design and calculations.
- 8. Escrow fee of \$7,000 shall be submitted.
- 9. A maintenance agreement (attached) will be needed for Phase 1 BMPs and will need to be updated when Phase 2 BMPs are constructed.
- 10. A copy of the NPDES permit shall be submitted.

Paige Ahlborg Watershed Project Manager Ramsey-Washington Metro Watershed District 2665 Noel Drive Little Canada, MN 55117 Office: (651)792-7964

Follow the District on Twitter & Like Us on Facebook.

Tom Wesolowski, P.E. City Engineer City of Shoreview twesolowski@shoreviewmn.gov

Direct Tel: 651-490-4652

Fax: 651-490-4696

Tom Wesolowski, P.E. City Engineer City of Shoreview twesolowski@shoreviewmn.gov Direct Tel: 651-490-4652

Fax: 651-490-4696



Oak Hill Montessori School

Legend



Recreational Centers

Police Stations

Fire Stations

Schools Hospitals

City Halls

Parcel Boundaries County Borders

Airports

Parcel Points

Notes

Preliminary Plat

Site and Building Plan Review

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

NAD_1983_HARN_Adj_MN_Ramsey_Feet © Ramsey County Enterprise GIS Division

Oak Hill Montessori School

Print Date: 07/02/2015 Image Date:03/25/2012 Level:Neighborhood



MEMORANDUM

Date: August 16, 2015 (REV)

To: Ms. Kathleen Castle, City of Shoreview

FR: A. Peter Hilger, AIA

RE: Site and Building Plan Review, 4693 Hodgson Rd (Parking Lot Expansion)

This memo is in support of our application for the parking lot expansion for Oak Hill Montessori School. Please consider the following:

Proposed Development

Oak Hill Montessori School is planning to expand the existing Oak Hill parking lot to provide for a better long term internal and external circulation pattern, improve user safety, and be developed consistent with the schools long range expansion plans.

The existing parking lot contains 42 regular parking stalls (excluding event parking that takes up the drop off lane). The first phase of this long term parking plan adds 43 stalls, resulting in 85 total parking stalls, is expected to be completed this fall. These additional stalls not only absorb teacher parking that was accommodated in the Rainbow lot, but is planned to accommodate near term growth, including the recently approved internal remodeling and conversion of the Hipkins House to office, as well as a small future addition that would expand the Toddler environments within the next 3 to 5 years. With the presently approved plans, the population of the school is expanding by only 12 Toddlers this Fall.

In the interest of showing the City the longer range plan, this initial phase layout has been conceived to be part of a larger, long term parking lot plan, labeled as Phase 2, that would be completed with a larger, physical expansion of the school, and the nearer term elimination of the Hipkins House. The critical point of this planning is the ingress and egress from Hodgson Road, which is designed to facilitate circulation now and well into the future, and would not be expected to change when Phase 2 is initiated.

We do not presently know when this long range plan might be initiated, as it depends generally on enrollment growth, however we expect to relocate the office back into the main part of the school within 3 to 5 years, and can therein complete the northwestern part of the parking lot, indicated in Phase 2 where the Hipkins house is located, adding 11 stalls, for a total of 96 at that time.

Development Impacts:

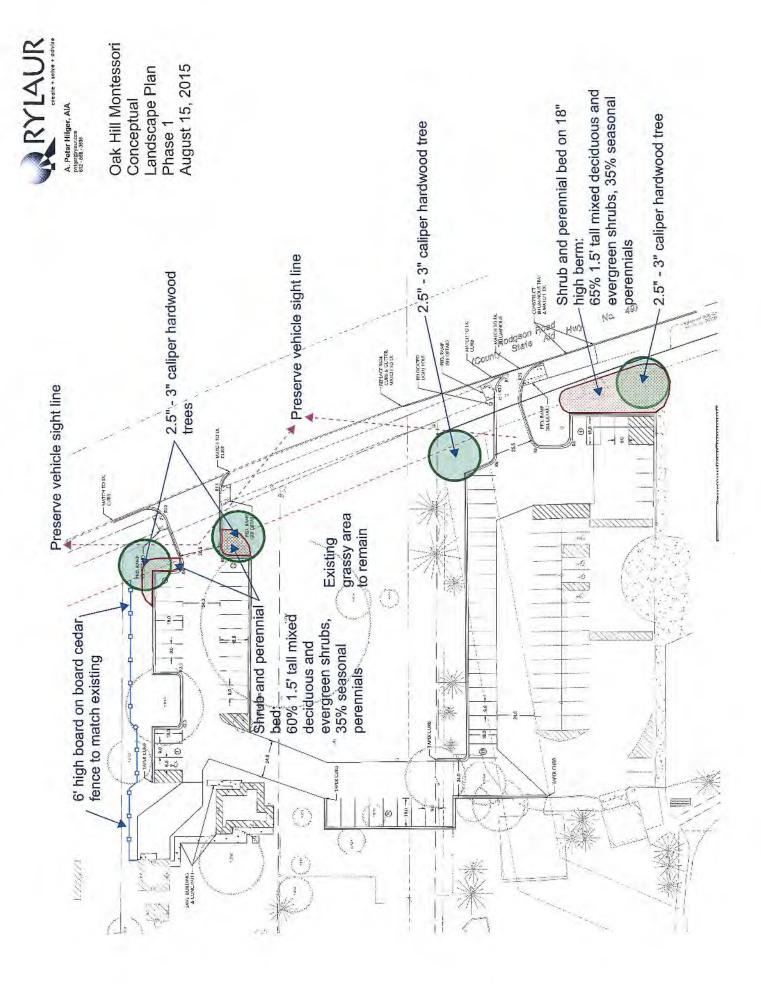
The development impacts are as follows:

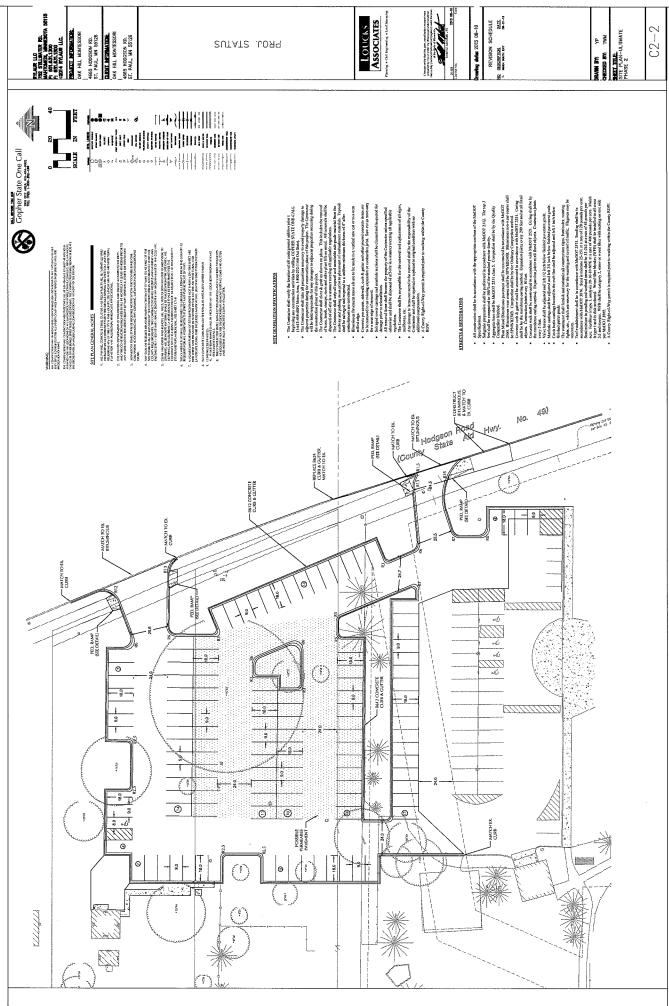
- Existing drainage patterns, grades and thus erosion control measures will be slightly
 modified with the intent of minimizing impacts to the existing pond to the extent feasible.
- Tree preservation has been considered wherein the existing large trees (those that are worth saving) have been preserved with this plan. Please note that some of the trees scheduled to be removed are identified of having disease potential and best removed.
- 3. Low cutoff LED site lighting will be adjusted to the new Phase 1 plan, with minimal impact to the neighboring properties. Please refer to the site lighting plan.
- 4. Existing utilities are presently unaffected by Phase 1, with storm sewer improvements possible for Phase 2, including an infiltration pond. At the time Phase 2 is contemplated, we will revisit the stormwater infiltration and examine other options, including pervious pavement, however we show the pond to represent the presently known impact of stormwater on the ultimate parking lot design.
- 5. Traffic patterns have been significantly improved with this proposed Phase 1 and Phase 2 (long term) plan, creating a plan for improved access from Hodgson, greater separation of the driveways, and a longer internal queue for the critical drop off and pick-up times. This will provide for a safer and more efficient vehicular circulation.
- 6. We are proposing a screening plan for Phase 1 only at this time, consisting of a screen fence on the north Hipkins property line, landscaped beds at the entrances (with attention to maintaining critical sight lines) and some additional trees located in such a way as to work in Phase 2 as well.

Summary:

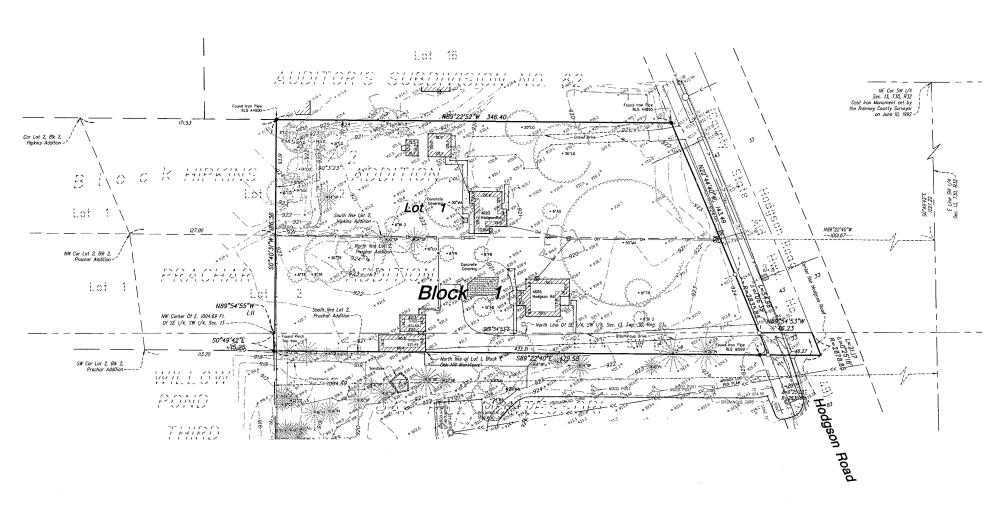
Based upon the information presented above, we respectfully request approval of the Phase 1 Parking plan.

cc: Ms. Kathy Anderson, Ms. Jean Melancon





REVISED SITE PLAN FIRE TRUCK ACCESS



SCALE IN FEET

DENOTES IRON MONUMENT FOUND

O DENOTES 1/2 INCH X 14 INCH IRON MONUMENT SET, MARKED "RLS 17255"

NOTES

- 1) Benchmark: Threshold elevation at the easterly entrance of the Oak Hill Montessori. Elevation = 924.01 feet (City of
- 2) We have shown buried structures and utilities on and/or serving the site Per Gopher State One-Call Ticket No.'s 15041080 150410582, 150410587 and 150410600. The following utilities and municipalities were notified

ARVIG	(218) 298-1025
CITY OF NORTH OAKS	(763) 476-6010
COMCAST	(612) 522-8141
CITY OF SHOREVIEW	(651) 490-4661
METRO WASTE COMMISSION	(651) 602-4511
RAMSEY CO PUBLIC WORKS	(651) 266-7100
XCEL ENERGY	(651) 229-2427
CENTURYLINK	(855) 742-6962
ZAYO GROUP	(952) 230-9130

- i) Utility operators do not consistently respond to locati: requests through the Gopher State One Call service for boundary purposes such as this. Those utility operators that or respond often will not locate services from their main line to the customer's structure or facility they consider those segments private installations that are outside their jurisdiction. If a private service to an adjoiner's site crosses this site or a service to this site crosses and point, it may not be located since most operators will not mark such 'private' services.

 ii) Snow and ice conditions during winter months may obscure otherwise visible evidence of a burded structure or utility.
- Maps provided by operators, either along with a field location or in lieu of such a location, are very often inaccurate or inconclusive. EXTREME CAUTION MUST BE EXERCISED BEFORE AN EXCAVATION TAKES PLACE ON OR NEAR THIS SITE. BEFORE DIGGING, YOU ARE REQUIRED BY LAW TO NOTIFY GOPHER STATE ONE CALL AT LEAST 48 HOURS IN ADVANCE AT 651/454-0002.

Legal Description per Title Commitment No. 1159431, dated May 17, 2015, issued by Edina Realty Title, Inc., as agent for Title Resources Guaranty Compnay

DESCRIPTION OF PROPERTY SURVEYED

That part of Lot 2, Block 2, Hipkins Addition, Ramsey County, Minnesota, lying Easterly of a line described as commencing at the Northwest corner of said Lot 2; thence Easterly, along the North line of said Lot 2, a distance of 171.53 feet to the point of beginning of the line to be described; thence Southerly deflecting right 90 degrees, 03 minutes, 23 seconds 93.19 feet to the South line of said Lot 2 and said line there terminating

That part of Lot 2, Block 2, Prachar Addition, Ramsey County, Minnesota, lying Easterly of a line beginning at a point on the South line of said Lot 2, Block 2, Prachar Addition, distant 113.2 feet East from the Southwest corner thereof and ending at a point on the North line of said Lot 2, distant 127.0 feet East of the Northwest corner thereof, lying Northerly of a line described as commencing at the Northeast corner of the Southwest Quarter of Section 13, Township 30, Range 32, being a cast iron monument set by the Ramsey County Surveyor on June 10, 1992 in the location of a found granite monument, thence South 0 degrees, 49 minutes, 42 seconds East, assumed bearing along the East line of said Southwest Quarter of Section 13 a distance of 1227.22 feet to the point of beginning of the line to be described; thence North 89 degrees, 22 minutes 40 seconds.West a distance of 1001.67 feet to the West line to the West line of the above described property and said line there terminating.

All in Ramsey County, Minnesota.

Legal Description per Waranty Deed per Doc. No. 4019843

Parcel 1: That part of Lot 2, Block 2, Prachar Addition, Ramsey County, Minnesota, lying Easterly of a line beginning at a point on the South line of said Lot 2, Block 2, Prachar Addition, distant 113.2 feet East from the Southwest corner thereof and ending at a point on the North line of said Lot 2, distant 127.0 feet East of the Northwest corner thereof; EXCEPT the following:

That part lying Northerly of a line described as commencing at the Northeast corner of the Southwest Quarter of Section 13, Township 30, Range 32, being a cast iron monument set by the Ramsey County Surveyor on June 10, 1992 in the location of a found granite monument; thence South 0 degrees, 49 minutes, 42 seconds East, assumed bearing along the East line of said Southwest Quarter of Section 13 a distance of 1227.22 feet to the point of beginning of the line to be described; thence North 89 degrees, 22 minutes 40 seconds West a distance of 1001.67 feet to the West line to the West line of the above described property and said line there terminating.

That part of the East 1004.69 feet of the Southeast Quarter of the Southwest Quarter of Section 13, Township 30, Range 23, Ramsey County, Minnesota, lying Westerly of the centerline of Hodgson Road, and Jying Northerly of a line described as beginning at a point on the West line of said East 1004.69 feet of the Southeast Quarter of the Southwest Quarter of Section 13 distant 15.25 feet South of the Northwest corner of said East 1004.69 feet of the Southeast Quarter of the Southwest Quarter of Section 13; thence South 89 degrees 22 minutes 40 second East (assuming the North line of said Southeast Quarter of the Southwest Quarter of Section 13 has a bearing of South 89 degrees 54 minutes 53 seconds East) a distance of 479.57 feet to said Centerline of Hodgson Road and said line there terminating.

All in Ramsey County, Minnesota.

PROPOSED ZONING: Zone (OFC) - Office District

PROPOSED BUILDING SETBACKS:

Side (Corner) = 30 Feet Rear = 20 Feet

AREAS:

79,530 Sq.Ft. or 1.83 Acres Total Property Area = 901 Sq.Ft. or 0.02 Acres 78,629 Sq.Ft. or 1.81 Acres Right of way Dedication Area = Net Property Area =





LOUCKS

CIVIL ENGINEERING LAND SURVEYING
LANDSCAPE ARCHITECTURE ENVIRONMENTAL

7200 Hemlock Lane, Suite 300 Maple Grove, MN 55369 763.424.5505 www.loucksinc.com

8-7 15 City Submittal

17255 8-7-15 QUALITY CONTROL

00230D Loucks Project No. Checked By

Field Crew

VICINITY MAP

Preliminary Plat 1 of

SURVEY LEGEND

- STORM SEWER

----- SANITARY SEWER SERVICE

----- ctv----- UNDERGROUND CABLE TV

CONCRETE CURB

CONIFEROUS TREE

DECIDUOUS TREE

----- w ----- WATER SERVICE

----- OVERHEAD UTILITY

-x-x-CHAIN LINK FENCE

· . . CONCRETE

CONTOUR

----- I ----- WATERMAIN

CATCH BASIN

HYDRANT

GATE VALVE

Ø POWER POLE

☐ LIGHT POLE

ර YARD LIGHT

← GUY WIRE

SOIL BORING

TR TREE (GEN)

MA MAPLE PI PINE SP SPRUCE

+972.5 SPOT ELEVATION

UTILITY PEDESTAL

POST INDICATOR VALVE

STORM MANHOLE

O SANITARY MANHOLE

WATER MANHOLE



SITE REMODEL FOR:

OAK HILL MONTESSORI SCHOOL

4665 HODGSON ROAD SHOREVIEW, MN 55126

1. THE CONTRACTOR SHALL VISIT THE PREMISES AND THOROUGHLY FAMILIARIZE HIMSELF/HERSELF WITH EXISTING CONDITIONS. VERIFY ALL DIMENSIONS IN THE FIELD WITH ALL DETAILS OF THE WORK AND WORKING CONDITIONS. FIELD VERIFY AND ADVISE THE ARCHITECT OF ANY DISCREPANCY SEFORDE PERFORMING THE WORK.

2. THE CONTRACTOR SHALL PERFORM ALL WORK REQUIRED UNDER THE CONTRACT FOR A COMPLETE INSTALLATION AND IN SUCH MANNER THAT SURFACES NOT AFFECTED BY REMOVAL OF EXISTING WORK OR FROM NEW WORK SHALL REMAIN UNDISTURBED AND NORMAL ACTIVITIES AT THE INSTALLATION MAY CONTINUE WITH THE LEAST POSSIBLE IN INTERFERENCE. LOBERIS SHALL BE REMOVED FROM THE SITE OF THE WORK AT THE END OF EACH WORKING DAY. MATERIALS AND EQUIPMENT SHALL BE STORED ONLY AT LOCATIONS APPROVED BY THE ARCHITECT/PMOINTERS AND LANDLAND REPRESENDED.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE STRUCTURES AND PERSONNEL DURING THE WORK UNDER THIS CONTRACT. ALL ALTERING, CUTTING, DRILLING OF PAVEMENT, FLOOR AND OTHER MODIFICATIONS SHALL BE NEATLY AND CAR

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO EXISTING WORK, MATERIALS. AND EQUIPMENT AS A RESULT OF HISHER OPERATIONS. ALL DAMAGED WORK SHALL BE REPAIRED OR REPLACED WITH MATERIALS OF LIKE TYPE, QUALITY AND FINISH BY SKILLED MECHANICS OF THE TRADES INVOLVED AT NO ADDITIONAL COST TO THE OWNER AND TO THE FULL SATISFACTION OF THE ARCHITECT/PRICINEER.

5. DISPOSAL OF ALL MATERIAL NOT SPECIFIED OR SHOWN TO BE SALVAGED AND/OR REUSED RESULTING FROM REMOVAL OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL COSTS IN CONNECTION WITH DISPOSING OF THE MATERIALS WILL BE AT THE CONTRACTOR'S EXPENSE. ALL LIABILITY OF ANY NATURE RESULTING FROM THE DISPOSAL OF THE MATERIALS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

6. CONTRACTOR SHALL PROVIDE AND MAINTAIN ACCESS TO ALL EXISTING FACILITIES AND THOSE UNDER CONSTRUCTION IN THE IMMEDIATE VICINITY AT ALL TIMES DURING CONSTRUCTION OF PROPOSED PROJECT.

7. CONTRACTOR SHALL INSTALL SECURITY FENCING AND BARRICADES AS REQUIRED BY THE LOCAL AUTHORITIES AND/OR AS DIRECTED BY ARCHITECT/ENGINEER.

8. VERIFICATION OF EXISTING CONDITIONS: EACH CONTRACTOR SHALL DETERMINE AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE AND SHALL BE RESPONSIBLE FOR SAME BEFORE COMMENCING THE WORK. DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND/OR ENGINEER AND SHALL BE RESOLVED BEFORE RESUMING THE WORK. DIMENSIONS SHALL BE READ AND NEVER SCALED OR ESTIMATED FROM THE ARCHITECTURAL DRAWINGS.

9. CODE COMPLIANCE: EACH CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE 2006 INTERNATIONAL BUILDING CODE, 2007 MINNESOTA STATE BUILDING CODE AND ALL OTHER CODES AND GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER HISHER PORTION OF THE WORK. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUIENCES AND PROCEDURES AND FOR SAFETY PRECAUTION AND PROGRAMS IN CONNECTION WITH HISHER PORTION OF THE WORK.

10, EXAMINATION OF THE CONTRACT DOCUMENTS AND SITE: EACH CONTRACTOR FOR THIS PROJECT SHALL STUDY AND FAMILIARIZE HIMSELFHIERSELF WITH THE SITE AND WITH ALL THE DRAWINGS FOR ALL TRADES AND PARTS OF THE WORK. SHOULD ANY CONTRACTOR HAVE THE OPINION THAT THERE EXISTS IN THE ARCHITECTURAL DRAWINGS ANY ERRORS OR DISCREPANCIES, OR THAT CONDITIONS FOR THE WORK OF ANY OTHER CONTRACTOR IS SUCH THAT IT WILL PREVENT HIMMER FROM COMPLETING HISHER PORK IN A COMPETENT MANNER, HE'SHE SHALL NOTIFY THE ARCHITECT OF SUCH BEFORE PROCECIONS WITH HOSHER WORK, THE CONTRACTOR SHALL HAVE AT THE BUILDING SITE FROM START TO FINISH OF CONSTRUCTION, A RESPONSIBLE FOREMAL, IN ADDITION, THE CONTRACTOR SHALL GRIVE HE'SHER PRESSONAL SUPERVISION TO THE WORK. THE CUILATIES WE PRESSON SHALL SHEW RISHER PRESSONAL SUPERVISION TO THE WORK. THE CUILATIES OF THE CONTRACTOR SHALL GIVE HE'SHER PRESSONAL SUPERVISION TO THE WORK. THE CUILATIES OF THE PROPERLY PROVIDED SHALL SHALL SHEW SHALL SUPERVISION TO THE WORK. THE CUILATIES OF THE CONTRACTOR SHALL GIVE THE CONTRACTOR SHALL BY SHALL SHE PROVIDED SHALL SHE SHAL

11. PERMITS, FEES, AND TAXES: THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, FEES, LICENSES AND DEPOSITS AND BE LIABLE FOR ALL STATE AND FEDERAL SALES TAXES, AND ALL OBLIGATION DEPOSITS UNDER THE FEDERAL SECURITY ACT. UPON COMPLETION OF THE PROJECT THE CONTRACTOR SHALL OBTAIN CERTIFICATES OF COMPLIANCE APPROVAL OR ACCEPTANCE FROM ALL AUTHORITIES HAVING JURISDICTION OVER THE WORK AND DELIVER THESE CERTIFICATES TO THE OWNER ALONG WITH OFFICIAL RECEITS FOR SAME.

12. PERFORMANCE OF WORK: NO SUBCONTRACTOR SHALL BEGIN ITS WORK UNLESS THE PREVIOUS TRADE, UPON WHOM IT IS DEPENDENT, HAS PERFORMED THEIR WORK SATISFACTORILY ACCORDING TO THE PLANS AND SPECIFICATIONS. ONCE THE CONTRACTOR HAS STARTED HISHER WORK HEISHE ASSUMES FULL RESPONSIBILTY FOR THAT WORK. ALL SUBCONTRACTORS ARE RESPONSIBLE FOR REMOVING DEBRIS RESULTING FROM THEIR WORK FROM BOTH MATERIALS AND LABOR PERFORMED ON THE

13. CLEANUP: IN ADDITION TO THE REMOVAL OF ALL CONSTRUCTION DEBRIS FROM THE PREMISES, IT IS THE FINAL RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ALL SMUDGES, SPOTS OF PLASTER, PUTTY, CAULKING COMPOUND, ADHESIVE, PAINT AND PENCIL. MARKINGS, TAGS AND DESTINATION LABELS NOT CALLED FOR AS BEING PERMANENT. THE CONTRACTOR SHALL ALSO CLEAN EACH AREA SEPARATELY, INCLUDING THE WASHING OF ALL WINDOWS AND VACUUMING OF ALL FLOORS, PRIOR TO HANDING THE COMPLETED PROJECT OVER TO THE OWNER. CONTRACTOR SHALL MAINTAIN THE AREA IN A CLEAN CONDITION.

14. MATERIALS: ALL MATERIALS SHALL BE NEW, AS CALLED FOR IN THE DRAWINGS, AND THE BEST OF THEIR RESPECTIVE KINDS. NO SUBSTITUTIONS SHALL BE MADE BY THE CONTRACTOR WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER, UNLESS SPECIFIED OTHERWISE ON THE DRAWINGS. FOR PORTIONS OF THE WORK NOT SHOWN IN DETAIL, BUT WHICH ARE KOWNE GENERALLY OR ARE REASONABLY INFERABLE AS BEING REQUIRED FOR A COMPETENT AND COMPLETE INSTALLATION, THE MATERIAL, METHODS AND WORKMANSHIP SHALL CONFORM AS A MINIMUM TO THAT TYPICAL OR REPRESENTATIVE FOR THAT WORK

15. FIRE RESISTIVITYJUNDERWRITERS LABORATORY RATINGS: WHERE ASSEMBLIES OR THEIR VARIOUS COMPONENTS, MATERIALS OR CONSTRUCTION SYSTEMS ARE INDICATED TO HAVE FIRE RESISTIVITY RATINGS OR UNDERWRITERS LABORATORY RATINGS, ALL SUCH SYSTEMS SHALL BE COMPOSED OF WATERIALS AND BE ASSEMBLED SO AS TO CONFORM TO THE STANDARDS ESTABLISHED IN GOVERNING CODES IN ORDER TO ACHIEVE THE REQUIRED RATING IN THE COMPLETED WORK.

16. CUTTING AND PATCHING: EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CUTTING, FITTING, PATCHING, AND MATCHING OF 18 OUT HIS MINE PARTICIAINS. EACH OUT HISH TO A SPILL SE PEZZ VISIBLE TO BE THE DRAWINGS. NO CONTRACTOR SHALL HISHER NEW WORK TO EXISTING WORK WHERE APPLICABLE AND INDICATED IN THE DRAWINGS. NO CONTRACTOR SHALL ENDANGER THE WORK OF ANY OTHER CONTRACTOR BY EXCAVATING, CUTTING OR OTHERWISE ALTERING ANY WORK OF ANY OTHER CONTRACTOR.

17. DEMOLITION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF DEBRIS REQUIRED TO COMPLETE THE CONSTRUCTION AS SPECIFIED ON THE DRAWINGS. EXISTING UNUSED ELECTRIC AND PLUMBING SHALL BE REMOVED OR ADEQUATELY CAPPED AS ALLOWED BY CODE AND APPROVED BY LANDLORD.

18. CONTRACTOR IS REQUIRED TO SUBMIT A CONSTRUCTION SCHEDULE TO OWNER AND ARCHITECT. ALL UPDATES DURING CONSTRUCTION SHALL BE SUBMITTED TO OWNER AND ARCHITECT AS CHANGES ARE MADE WITHIN 48 HOURS OF CHANGE.

ABBREVIA	TIONS		
AB	ANCHOR BOLT	FUR	FURRED(ING)
	ACOUSTICAL CEILING TILE		GENERAL CONTRACTOR
	ABOVE FINISHED FLOOR	GFI	GROUND FAULT CIRCUIT
	ABOVE FINISHED GRADE		INTERRUPTER
AC	AIR CONDITIONING	GA	GAUGE
ABV	ABOVE	GALV	GALVANIZED
	ALUMINUM	GL.	GLASS, GLAZING
	ANODIZED	GYP	GYPSUM
	APPROXIMATE(LY)	HB	HOSE BIB
	ARCHITECT(URAL)	HC	HOLLOW CORE
	AVERAGE	HM HDCP	HOLLOW METAL HANDICAP
	BOTTOM OF CURB BOARD	HDR	HEADER
	BITIMUNOUS	HDW	HARDWARE
BLDG	BUILDING	HGT	HEIGHT(S)
BLK(G)	BLOCK(ING)	HOR	HORIZONTAL
BOT	BOTTOM	HR	HANDRAIL
BRG	BEARING	HTB	HEATER
CTC	CENTER TO CENTER	HVAC	HEATING/VENTILATING/
CI	CONTROL JOINT(S)		AIR CONDITIONING
CL	CENTER LINE(S)	HYD	HYDRANT
CMU	CONCRETE MASONRY UNIT	ID	INSIDE DIAMTER
CT	CERAMIC TILE	IN	INCH
CLG	CEILING(S)	INCL	INCLUDE(D)(ING)
CLR	CLEAR(ANCE)	INSUL	INSULATE(ATION)
CONC	CONCRETE	INT	INTERIOR
CONT	CONTINUE(OUS)(ATION)	JST	JOIST JOINT
CPT	CARPET(ING)	JT KO	KNOCK OUT
CRS	COURSE(S)	LF	LINEAR FEET
CTR CU	CENTER(ED) CUBIC	LAM	LAMINATED
DF	DRINKING FOUNTAIN	LB	POUNOS
DEG	DEGREES	LBL	LABEL
DEMO	DEMOLISH/DEMOLITION	LMBR	LUMBER
DET	DETAIL	LT	LIGHT
DIA	DIAMETER	LVR	LOUVER
DIM	DIMENSION	MO	MASONRY OPNEING
DN	DOWN	MAS	MASONRY
DR	DOOR	MATL	MATERIAL(S)
DS	DOWNSPOUT	MAX	MAXIMUM
DWG	DRAWING(S)	MECH	MECHANICAL
EIFS	EXTERIOR INSULATION	MEP	MECHANICAL/ELECTRICAL /PLUMBING
	& FINISH SYSTEM EACH	MIN	MINIMUM
EA EL	ELEVATION	MISC	MISCELLANEOUS
ELEC	ELECTRIC(AL)	MTL.	METAL
ELEV	ELEVATOR	MULL	MULLION
ENCL.	ENCLOSE(URE)	NC	NO CHARGE
ENGR	ENGINEER	NIC	NOT IN CONTRACT
EQ	EQUAL	NL.	NIGHT LIGHT
EQUIP	EQUIPMENT	NTS	NOT TO SCALE
EXH	EXHAUST	NA	NOT APPLICABLE
EXIST	EXISTING	NO	NUMBER
EXP	EXPANSION	OC	ON CENTER
EXT	EXTERIOR	OD	OUTSIDE DIAMTER
FD	FLOOR DRAIN	OH	OVERHEAD
FE(C)	FIRE EXTINGUISHER (CABINET)	OPG	OPENING
FF_	FINISHED FLOOR	PBD PLAM	PARTICLE BOARD PLASTIC LAMINATE
FFE	FINISHED FLOOR ELEVATION	PLAM PC	PRECAST CONCRETE
FRP	FIBERGLASS REINFORCED PANEL	PL PL	PLATE
FDN	FOUNDATION EINICH/ED)	PLBG	PLUMBING
FIN FIXT	FINISH(ED) FIXTURE	PLWD	PLYWOOD
FLG	FLASHING	PNL	PANEL
FLR	FLOOR	PT	PAINT(ED)
FLIOR	FLUORESCENT	PVC	POLYVINYL CHLORIDE

DIRECTORY

OWNER
OAK HILL MONTESORII
4665 HODGSON ROAD
SHOREVIEW, MN 55126
PHONE: 651-484-4242
FAX: 651-484-4130
CONTACT: KATHY ANDERSON E-MAIL: kathya@oakhillr

COMMUNITY DEVELOPMENT 4600 VICTORIA STREET NORTH SHOREVIEW, MN 55126 PHONE: 651.490.4600 CONTACT: KATHLEEN CASTLE E-MAIL: kcastle@shoreviewmn.go

STAINLESS STEEL
SQUARE YARD
SECTION
SHEET
SHEATHING
SIMILAR
SPECIFICATION(S)
SQUARE
STANDARD

STEEL STRUCTURAL SWITCH TOP AND BOTTOM

TOP OF CURB TRASH ENCLOSURE TRASH ENCLOSURE TOP OF TOP OF FOOTING TOP OF JOIST

TYPICAL UNIT HEATER UNLESS NOTED OTHERWISE UNFINISHED VAPOR BARRIER
VINYL COMPOSITION TILE
VINYL WALL COVERING

14 PHEASANT LANE NORTH OAKS, MN 55127 PHONE: (612) 868-3636 CONTACT: A. PETER HILGER, AIA E-MAIL: philger@rylaur.com

GENERAL CONTRACTOR
SULLIVAN - DAY CONSTRUCTION

CIVIL ENGINEER
LOUCKS ASSOCIATES
7200 HEMLOCK LANE
SUITE 300
MAPILE GROVE, MN 53589
PHONE: (763) 424-5505
FAX: (763) 424-5622
CONTACT: TODD MCIOTH, PE
E-MAIL: Imclouth@loucksassociates.co

NUMBER NAME GENERAL TITLE SHEET

EXISTING SITE/DEMOLITION PLAN SITE REMODEL PLAN C200



RYLAUR, LLC. 14 PHEASANT LANE P: 612.868.3636 philger@rylaur.com

@2015 RYLAUR LLC.

PROJECT INFORMATION: SITE REMODEL OAK HILL MONTESSOR

SHOREVIEW, MN 55126

OAK HILL MONTESSORI 4665 HODGSON ROAD SHOREVIEW, MN 55126

Ø

A. PETER HILGER REG. NO. 15862

SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY SUPERVISION AND THAT I AM A DULY LICENSED ARCHIECT UNDER THE LAWS



SHEET DATE: 7/28/2015

REVISION SCHEDULE

DRAFTED: PRG REVIEWED: APH

SHEET TITLE:

SPECIAL INSPECTIONS

FRAME FEET, FOOT FOOTING FURNISH

NOTE: SPECIAL INSPECTIONS SHALL BE INCLUDED IN THE CONTRACTOR'S PRICE.

PER CHAPTER 17 OF THE 2006 INTERNATIONAL BUILDING CODE: THE FOLLOWING ON-SITE INSPECTIONS WILL BE REQUIRED & PERFORMED BY THE REGISTERED PROFESSIONALS OR FIRMS LISTED BELOW:

SOILS & FOOTING SUBGRADE: CONCRETE, FORM WORK & REBAR:
MATERIALS TESTING:
GENERAL FOUNDATION & STRUCTURAL:
MASONRY & MASONRY REINFORCEMENT:

MASJORHY & MASJORHY REINY-DRICEMENT: STRUCTURAL STEEL: ALL INSPECTIONS & REPORTS ARE TO BE PROVIDED TO THE CITY PRIOR TO FINAL INSPECTIONS. BUILDING IS TO BE FULLY SPRINKLED, SUBMIT SHOP DRAWINGS BY A LICENSED FIRE SPRINKLER CONTRACTOR TO THE REGULATORY AGENCIES FOR REVIEW & APPROVAL PRIOR TO INSTALLATION.

G100

RYLAUR, LLC. 14 PHEASANT LANE NORTH OAKS, MN 55127 P: 612.868.3636 philger@rylaur.com

©2015 RYLAUR LLC.

PROJECT INFORMATION: SITE REMODEL

OAK HILL MONTESSORI SHOREVIEW, MN 55126

CLIENT INFORMATION:

OAK HILL MONTESSORI 4665 HODGSON ROAD

SHOREVIEW, MN 55126

A. PETER HILGER REG. NO. 15862

I HEREBY CERTIFY THAT THIS PLAN,
SPECIFICATION OR REPORT WAS PREPARED
ME OR UNDER MY SUPERVISION AND THAT I
A DULY LICENSED ARCHIECT UNDER THE LA
OF THE STATE OF MINNESOTA



SHEET DATE: 7/28/2015

REVISION SCHEDULE

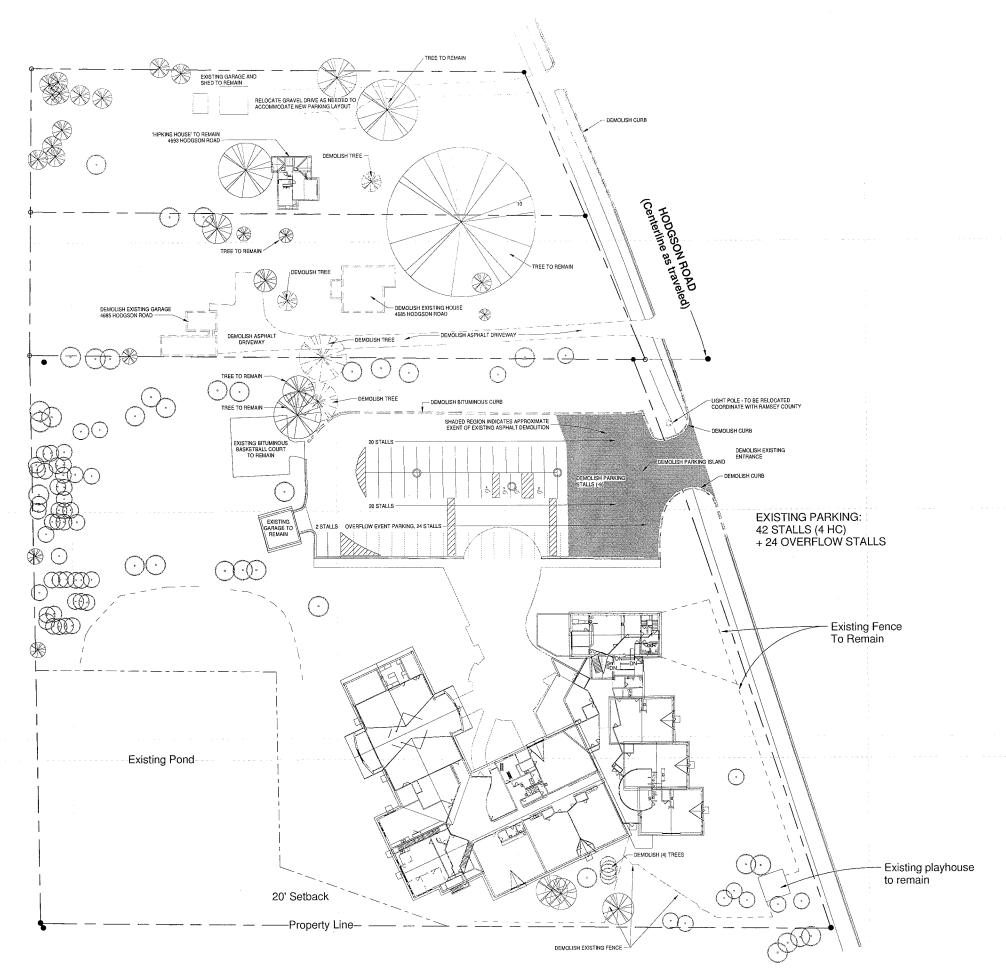
NO DESCRIPTION

DATE

DRAFTED: PRG REVIEWED: APH

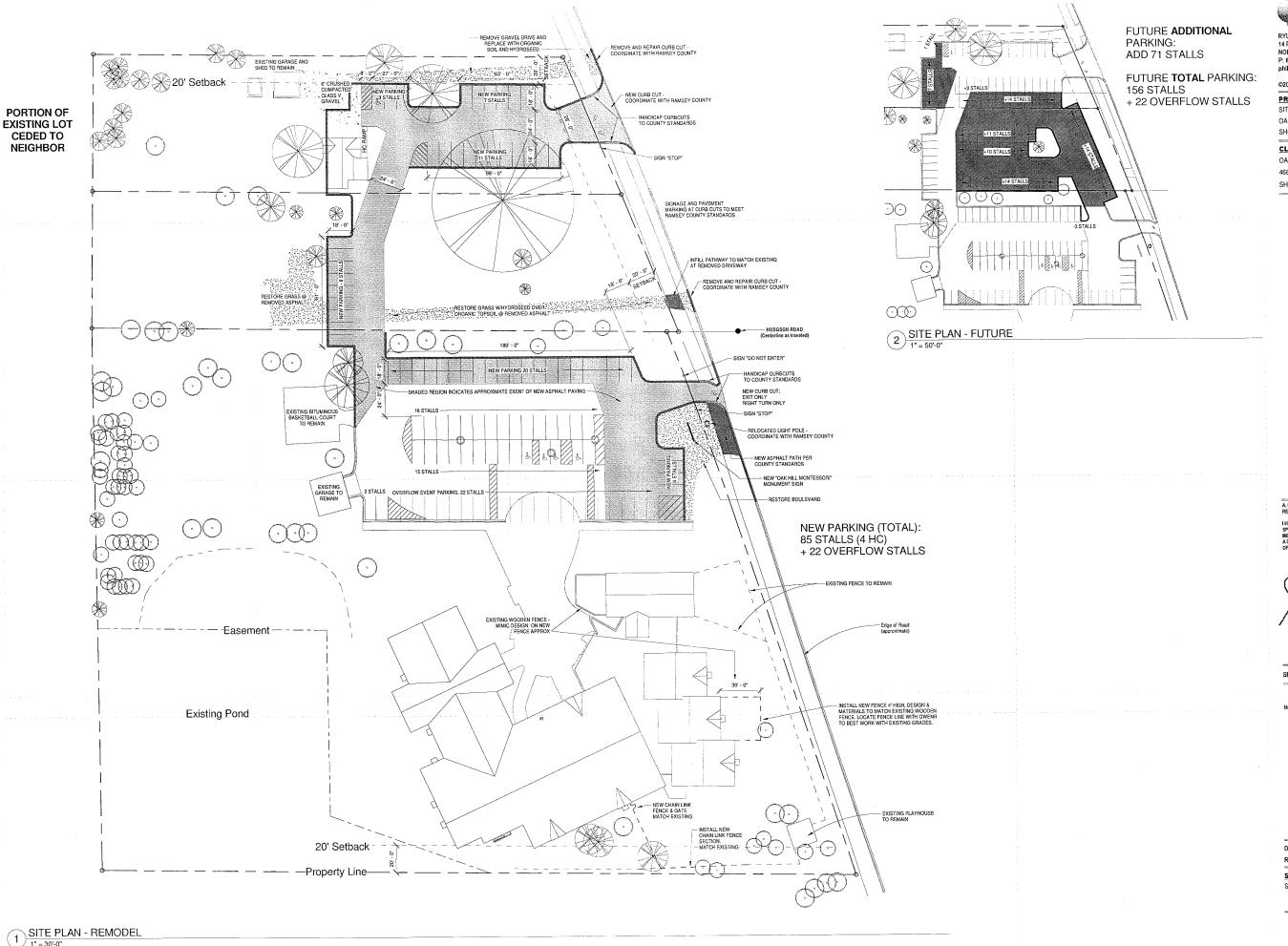
SHEET TITLE: EXISTING SITE/DEMOLITION PLAN

C100



PORTION OF EXISTING LOT

CEDED TO NEIGHBOR



1" = 30'-0"

RYLAUR

RYLAUR, LLC. 14 PHEASANT LANE NORTH OAKS, MN 55127 P: 612.868.3636 philger@rylaur.com

©2015 RYLAUR LLC.

PROJECT INFORMATION: SITE REMODEL

OAK HILL MONTESSORI SHOREVIEW, MN 55126

CLIENT INFORMATION:

OAK HILL MONTESSORI 4665 HODGSON ROAD

SHOREVIEW, MN 55126

H W G

A, PETER HILGER REG. NO. 15862



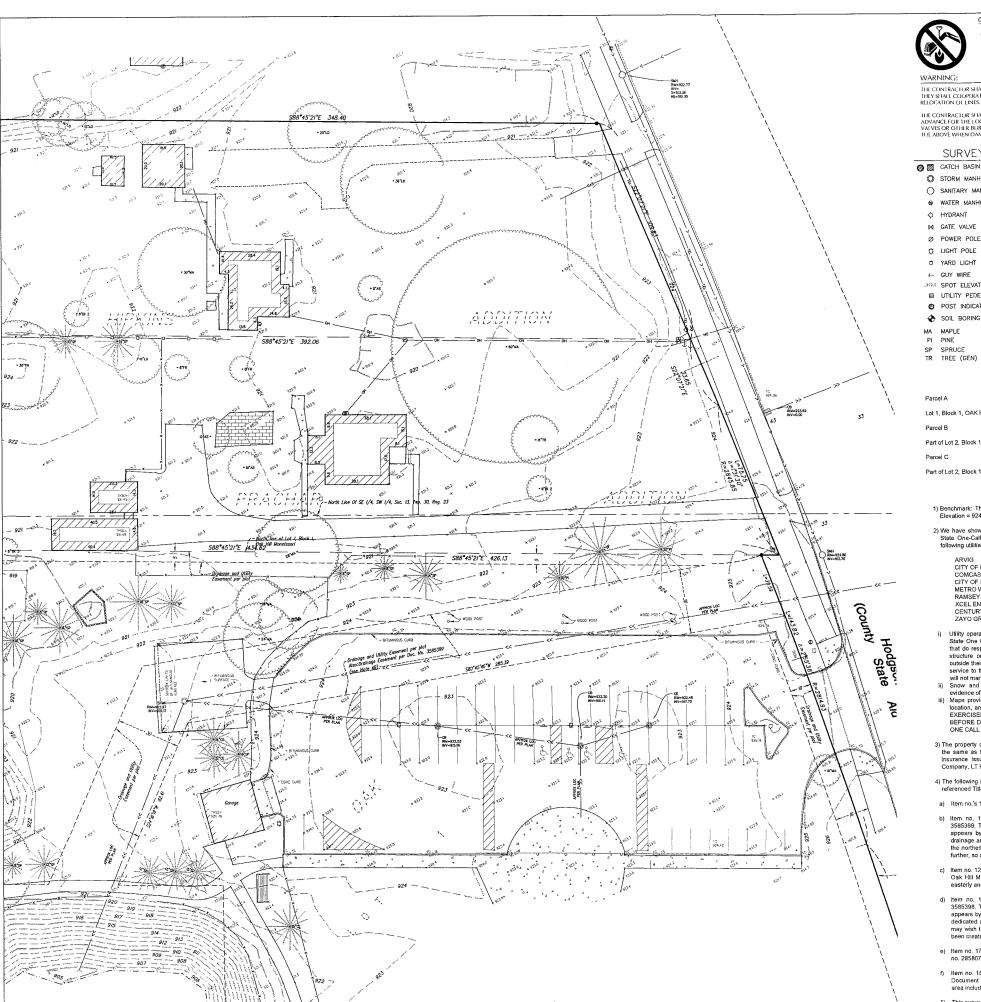
SHEET DATE: 7/28/2015

REVISION SCHEDULE

DRAFTED: PRG REVIEWED: APH

SHEET TITLE: SITE REMODEL PLAN

C200



CALL BEFORE YOU DIG!

Gopher State One Call

TWIN CITY AREA: 651-454-0002 TOLL FREE: I-800-252-1166

THE CONTRACTOR SHALL BE RESPONSIBLE OR CALLING FOR LOCATIONS OF ALL TXISTING UILIHIES THEY SHALL COOPERATE WHIT ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND FOR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WRISS, CARRES, CONDUISS, PIPES, MANIFOLES, VALVES OR OTHER BURIED STRUCTURES BLIGHE DEGIGNO. THE CONTRACTOR SHALL REPAIR OR REPLACE HE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

SURVEY LEGEND

STORM MANHOLE ------ SANITARY SEWER ----- 1 ------ WATERMAIN O SANITARY MANHOLE ----- s ----- SANITARY SEWER SERVICE HYDRANT ----- WATER SERVICE M GATE VALVE ----- OVERHEAD UTILITY Ø POWER POLE ☼ LIGHT POLE CONCRETE CURB ♂ YARD LIGHT · . . CONCRETE ← GUY WIRE _872 CONTOUR .972.5 SPOT ELEVATION UTILITY PEDESTAL CONIFEROUS TREE POST INDICATOR VALVE SOIL BORING DECIDUOUS TREE MA MAPLE PI PINE SP SPRUCE THSD THRESHOLD ELEVATION

DESCRIPTION OF PROPERTY SURVEYED

Lot 1, Block 1, OAK HILL MONTESSORI, Ramsey County, Minnesota.

Part of Lot 2, Block 1, Prachar Addition.

Part of Lot 2, Block 1, Hipkins Addition.

NOTES

- Benchmark: Threshold elevation at the easterly entrance of the Oak Hill Montessori. Elevation = 924.01 feet (City of Shoreview Datum).
- 2) We have shown buried structures and utilities on and/or serving the site Per Gopher State One-Call Ticket No.'s 15041080, 150410582, 150410587 and 150410600. The following utilities and municipalities were notified:

ARVIG	(218) 298-1025
CITY OF NORTH OAKS	(763) 476-6010
COMCAST	(612) 522-8141
CITY OF SHOREVIEW	(651) 490-4661
METRO WASTE COMMISSION	(651) 602-4511
RAMSEY CO PUBLIC WORKS	(651) 266-7100
XCEL ENERGY	(651) 229-2427
CENTURYLINK	(855) 742-6062
ZAYO GROUP	(952) 230-9430

- i) Utility operators do not consistently respond to locate requests through the Gopher State One Call service for boundary purposes such as this. Those utility operators that do respond often will not locate services from their main line to the customer's structure or facility they consider those segments private installations that are outside their jurisdiction. If a private service to an adjoiner's site crosses this site or a service to this site crosses an adjoiner, it may not be located since most operators will not mark such "private" services.
- will not mark such "private" services.

 ii) Snow and iee conditions during winter months may obscure otherwise visible evidence of a buried structure or utility.

 iii) Maps provided by operators, either along with a field location or in lieu of such a location, are very often inaccurate or inconclusive. EXTREME CAUTION MUST BE EXERCISED BEFORE AN EXCAVATION TAKES PLACE ON OR NEAR THIS SITE. BEFORE DIGGING, YOU ARE REQUIRED BY LAWY TO NOTIFY GOPHER STATE ONE CALL AT LEAST 48 HOURS IN ADVANCE AT 651/454-0002.
- 3) The property depicted on this survey and the easements of record shown hereon are I the property depicted on this survey and the easiments of the Commitment for Title Insurance issued by Land Title, Inc. as agent for First American Title Insurance Company, LT File No. 518589 dated March 6, 2015.
- 4) The following remarks reference items in Schedule B, Part II Exceptions of the herein referenced Title Commitment:
- a) Item no.'s 1 10, 13, 14, 16 and 19 23 are not survey related items.
- b) Item no. 11 is a drainage easement in favor of Ramsey County per Doc. No Item no. 11 is a drainage easement in tavor of Kamsey Lounty per Loc. No. 3585399. The description for the location of this easement is non-surveyable, but it appears by the graphic portion of the document, that the easement is within the drainage and utility easement as dedicated on the plat of Oak Hill Montessori across the northerly portion of the site. The client's counsel may wish to pursue this matter further, so as to clear any title issues that may have been created by this document.
- c) Item no. 12 references the drainage and utility easements as dedicated on the plat of Oak Hill Montessori. These easements are shown hereon along the southerly, the easterly and the northerly sides of the site.
- d) Item no. 15 is a highway easement in favor of Ramsey County per Doc. No. 3585398. The description for the location of this easement is non-surveyable, but it appears by the graphic portion of the document, that the easement is within the area dedicated as Hodgson Road on the plat of Oak Hill Montessori. The client's counsel may wish to pursue this matter further, so as to clear any title issues that may have been created by this document.
- e) Item no. 17 is a landscape easement in favor of the City of Shoreview per Documen no. 2858077. This easement is shown hereon at the southeast corner of the site.
- f) Item no. 18 is a drainage and utility easement in favor of the City of Shoreview pe Document no. 2858078. This easement lies westerly of, and does not encumber, the area included in this survey.
- 5) This survey was prepared without the benefit of Title Commitment for Parcels B & C.

RYLAUR LLC 752 STILLWATER RD. MAHTOMEDI, MINNESOTA 55115 P: 651.631.1300 F: 651.631.1500 ©2014 RYLAUR LLC.

PROJECT INFORMATION:

OAK HILL MONTESSORI 4665 HODGSON RD

ST. PAUL, MN 55126 CLIENT INFORMATION:

OAK HILL MONTESSORI

4665 HODGSON RD.

ST. PAUL, MN 55126

STA PROJ.



lanning • Civil Engineering • Land Surveying

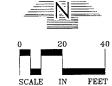
Drawing date: 2015 06–24

REVISION SCHEDULE

DATE NO DESCRIPTION

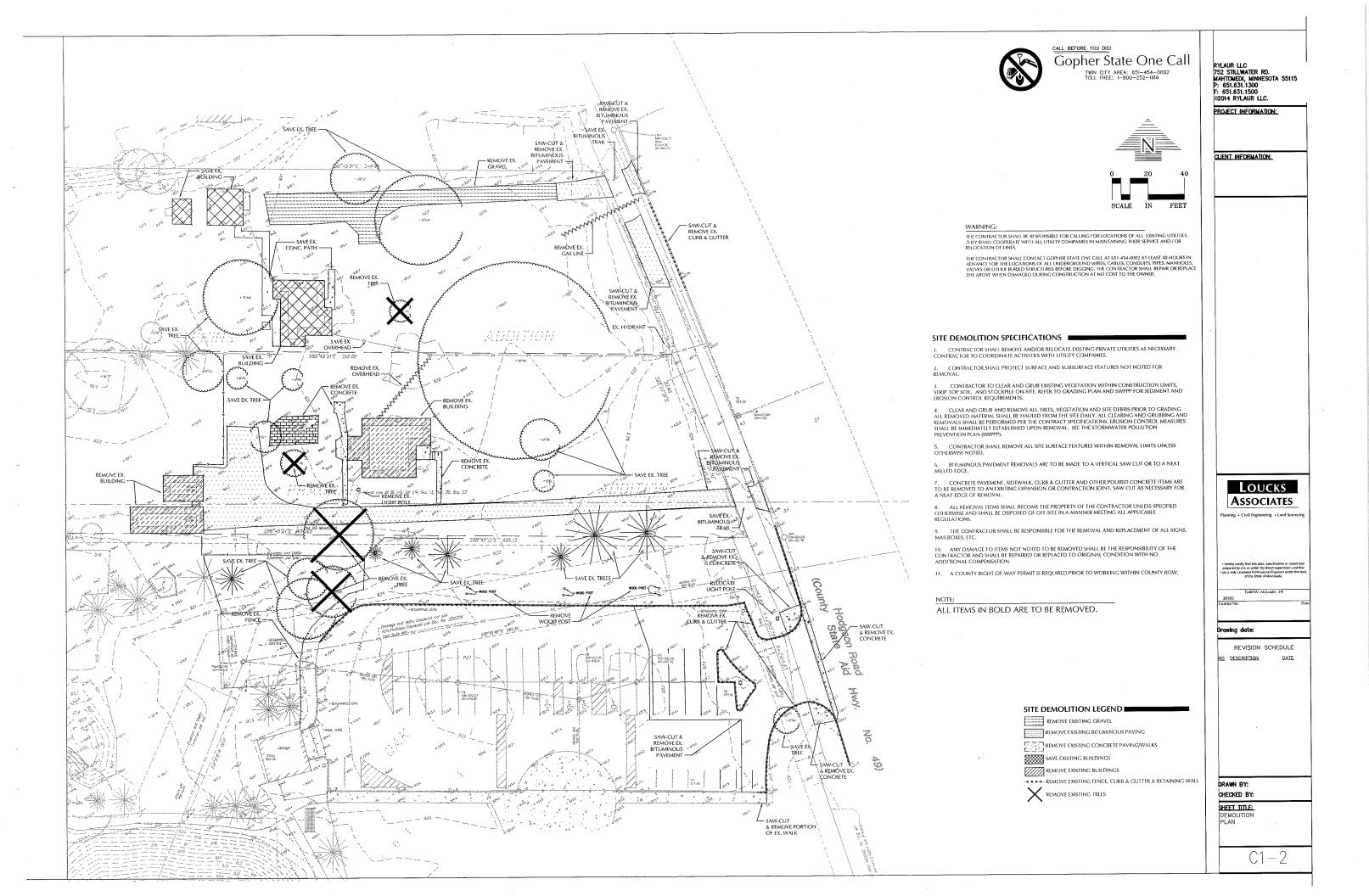
DRAWN BY: CHECKED BY:

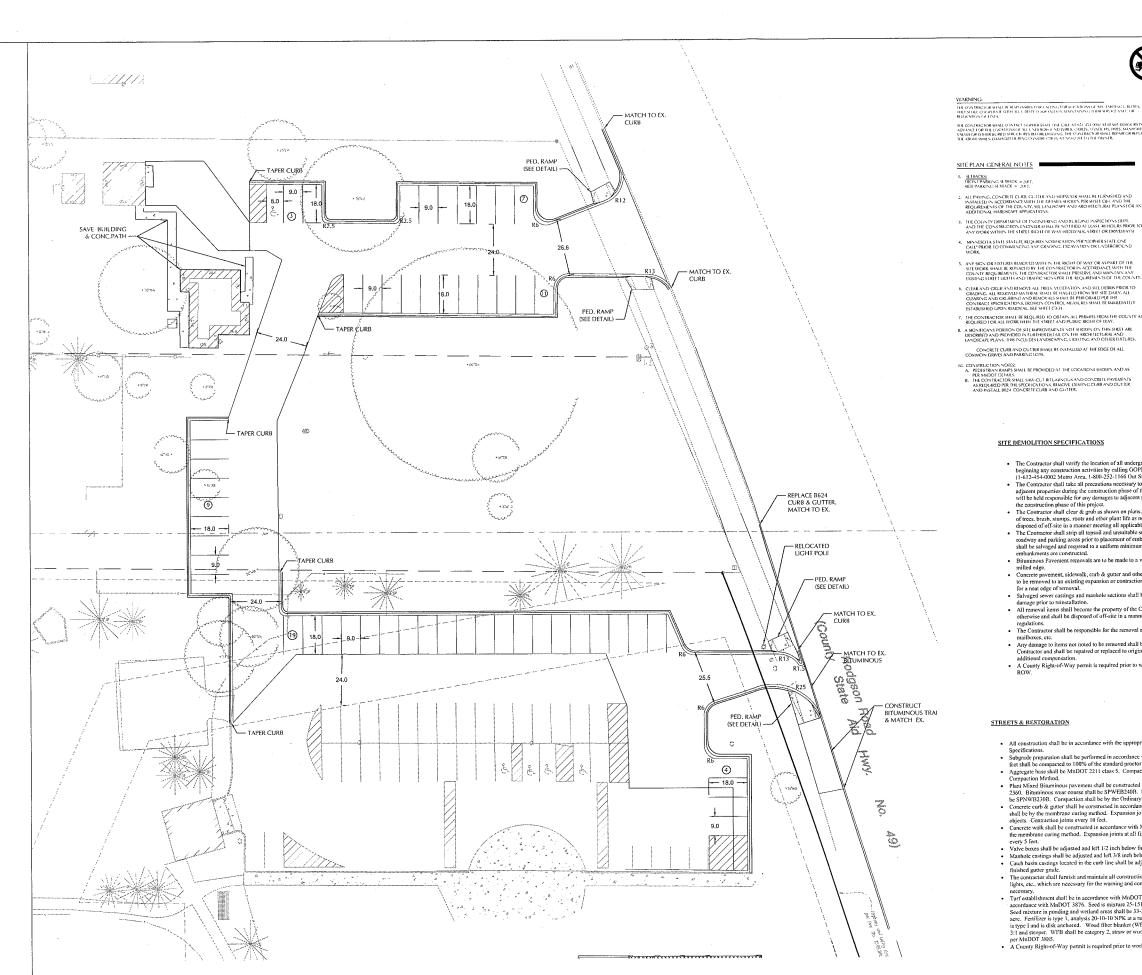
SHEET TITLE: EXISTING CONDITIONS



DENOTES IRON MONUMENT FOUND

C1 - 1









٥.

O'NE LEGION O
STORE SWEETE SWEETE
STORE SWEETE
SWEETE SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEETE
SWEE

RYLAUR LLC 752 STILLWATER RD. MAHTOMEDI, MINNESOTA 55115 P: 651.631.1300 F: 651.631.1500

©2014 RYLAUR LLC. PROJECT INFORMATION:

OAK HILL MONTESSORI

4665 HODGSON RD. ST. PAUL, MN 55126

CLIENT INFORMATION:

OAK HILL MONTESSORI

4665 HODGSON RD. ST. PAUL, MN 55126

> ⋖ S

Loucks ASSOCIATES

Todd W. McLouth - PE

20383

Drawing date: 2015 06-24

REVISION SCHEDULE O DESCRIPTION DATE

DRAWN BY: CHECKED BY:

SHEET TITLE:

PLAN-PHASE 1

C2 - 1

SITE DEMOLITION SPECIFICATIONS

The Contractor shall verify the location of all underground utilities prior t beginning any construction activities by calling GOPHER STATE ONE-CALL (1-612-454-0002 Metro Arca, 1-800-252-1166 Out State).

 The Contractor shall take all precautions necessary to avoid property damage to
adjacent properties during the construction phase of this project. The Contractor
will be held responsible for any damages to adjacent properties occurring during the construction phase of this project

the construction phase of this project.

The Contractor shall clear & grub as shown on plans. This includes the removal of trees, brush, stumps, roots and other plant life as noted. All removals shall be disposed of off-site in a manner meeting all applicable regulations.

The Contractor shall strip all topsoil and unswitable sub-greade material from the roadway and parking areas prior to placement of embankment materials. Topsoil shall be salvaged and respond to a uniform minimum thickness of 4" after embankments are constructed.

Bituminum Pavement removals are to be made to a vertical saw out to to sent

Bituminous Pavement removals are to be made to a vertical saw cut or to a neat milled edge.

milled edge.

Concrete pavement, sidewalk, cuth & gutter and other poured concrete items are to be removed to an existing expansion or contraction joint. Saw cut as necessary for a neat-edge of removal.

Salvaged sewer castings and manhole sections shall be cleaned and inspected for damage prior to reinstallation.

All removal items shall become the property of the Contractor unless specified otherwise and shall be disposed of off-site in a nunner meeting all applicable regulations.

regulations.

The Contractor shall be responsible for the removal and replacement of all signs,

manthoxes, etc.

Any damage to items not noted to be removed shall be the responsibility of the Contractor and shall be repaired or replaced to original condition with no

A County Right-of-Way permit is required prior to working within the County

STREETS & RESTORATION

All construction shall be in accordance with the appropriate sections of the MnDOT

All construction shall be in accordance with the appropriate sections of the MMDUT Specifications.
 Subgrade preparation shall be performed in accordance with MmDOT 2112. The top 3 feet shall be compacted to 100% of the standard proctor density.
 Aggregate base shall be MmDOT 2211 class 5. Compaction shall be by the Quality Compaction Method.
 Plant Mixed Bituminous pravement shall be constructed in accordance with MmDOT 2306. Bituminous wave course shall be SPWEB240B. Bituminous non-wear course shall be SPNWB230B. Compaction method.
 Concrete course & gutter shall be constructed in accordance with MmDOT 2331. Curing shall be by the membrane curing method. Expansion joints every 200 feet and at all fixed objects. Contraction joints every 10 feet.
 Concrete walk shall be constructed in accordance with MmDOT 2521. Curing shall be by the membrane curing method. Expansion joints with MmDOT 2521. Curing shall be document of the membrane curing method. Expansion joints with MmDOT 2521. Curing shall be by the membrane curing method. Expansion joints at all fixed objects. Contraction joints every 5 feet.
 Concrete walk shall be onstructed in accordance with MmDOT 2521. Curing shall be by the membrane curing method. Expansion joints at all fixed objects. Contraction joints every 5 feet.
 Valve boxes shall be adjusted and left 1/3 inch below finished pavement grade.
 Manhole castings shall be adjusted and left 3/8 inch below finished gutter grade.
 Cach basin castings located in the curb line shall be adjusted and left 1 inch below finished gutter grade.
 The consecrete shall fermish and maintain all construction sinns barricades, warming

finished gutter grade.

The contractor shall furnish and maintain all construction signs, barricades, warning lights, etc., which are necessary for the warning and control of traffic. Flagmen may be

necessary.

• Turf establishment shall be in accordance with MnDOT 2575. Seeding shall be in accordance with MnDOT 3876. Seed is mixture 25-151 at a rate of 120 pounds per acre. Seed mixture in ponding and wetland acreas shall be 33-262 at a rate of 44 pounds per acre. Fertilizer is type I. analysis 20-10-10 MPK at a rate of 400 pounds per acre. Mulch is type I and is disk anchored. Wood fiber blanket (WFB) shall be installed to all across 3:1 and steeper. WFB shall be category 2, straw or wood fiber with netting on one side per MnDOT 3883.

A County Right-of-Way permit is required prior to working within the County ROW.







CONL. LEGINO
STEETER WASSEL
TITURE WASSEL
CATION RASE
GAVET
FORT NAC
STEETER
GAVET
GA

RYLAUR LLC 752 STILLWATER RD. MAHTOMEDI, MINNESOTA 55115 P: 651.631.1300 F: 651.631.1500 ©2014 RYLAUR LLC.

PROJECT INFORMATION:

OAK HILL MONTESSORI 4665 HODGSON RD. ST. PAUL, MN 55126

CLIENT INFORMATION:

OAK HILL MONTESSORI 4665 HODGSON RD. ST. PAUL, MN 55126

> ST ROJ.

Loucks ASSOCIATES

Planning • Civil Engineering • Land Surveyin

Todd W. McLouth - PE 20383

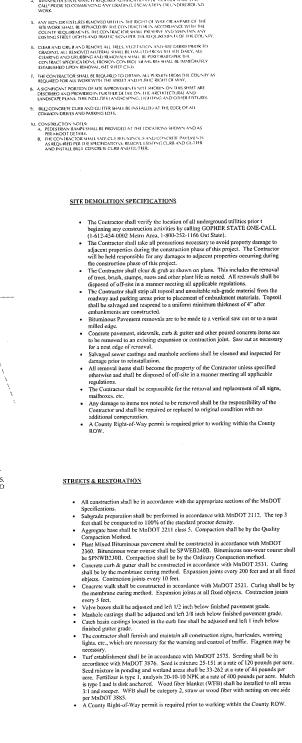
Drawing date: 2015 06-24

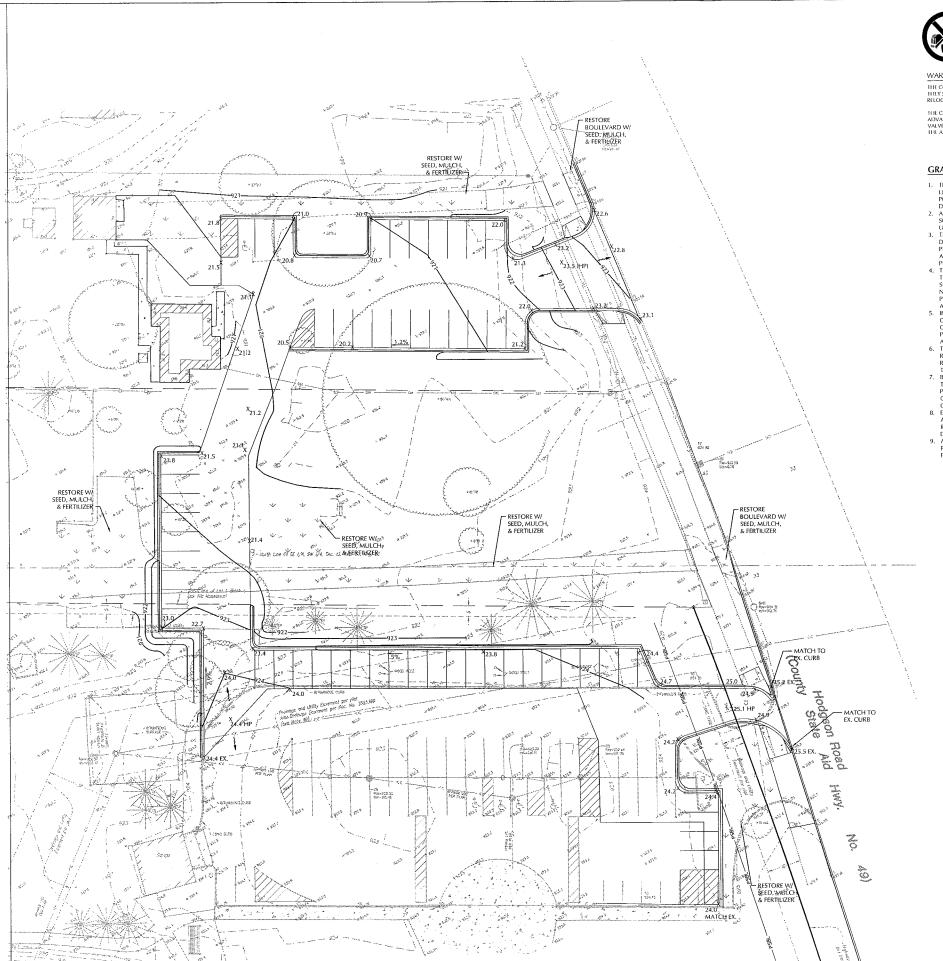
REVISION SCHEDULE NO DESCRIPTION DATE

DRAWN BY: CHECKED BY: TWM

SHEET TITLE: SITE PLAN-ULTIMATE PHASE 2

C2 - 2





CALL BEFORE YOU DIG!

Gopher State One Call TWIN CITY AREA: 651-454-0002 TOLL FREE: 1-800-252-1166

THE CONTRACTOR SHALL BE RESPONSIBILLOR CALLING FOR LOCATIONS OF ALL TXISTING UTILITIES HEY SHALL COOPERATE WITH ALL DIRELLY COMPANIES IN MAINTAINING THEIR SERVICE AND FOR RELOCATION OF LINES.

HIE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF AT UNDERGROUND WRISE, CARLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURITD STRUCTURES BIT OF DIGGROS. DIE CONTRACTOR SHALL RIPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



CIVIL LEGEND

GRADING, DRAINAGE & EROSION CONTROL NOTES

- 1. THE CONTRACTOR SHALL RELER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF BUILDINGS, VESTIBULES, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, LNTRY LOCATIONS AND LOCATIONS OF
- DOWNSPOUTS.

 2. ALL DISTURBED UNPAYED AREAS ARE TO RECEIVE MINIMUM OF 4 INCHES OF TOP SOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED BY THE CONTRACTOR UNTIL THE SOD OR SEED IS GROWING IN A HEALTHY MANNER.

 3. THE CONTRACTOR SHALL FAKE ALL PRECAUTIONS MICESSARY TO AVOID PROPERTY.
- UNITE THE SOD OR SEED IS GROWING IN A HEALTHY MANNER.

 3. THE CONTRACTOR SHALL TARK ALL PERCENTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADIACENT PROPERTIES DURING THE CONSTRUCTION PHASE OF THIS PROJECT. THE CONTRACTOR WILL BE HELD RISPONSIBLE FOR ANY DAMAGES TO ADIACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASE OF THIS PROJECT.

 4. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGEMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY, PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PROOR TO PLACEMENT. TRAITIC CONTROL DEVICES SHALL CONFORM TO THE APPROPRIATE MINNESOLA DEPARTMENT OF TRAFFIC ONSTRUCTION PRACTICES. THE CONTRACTOR WILL BE SOLLLY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE FOR SITE INCLUDING SAFETY OF ALL PRESONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BEHIMFLED TO NORMAL WORKING HOURS.

 5. THE DUTY OF THE LORINGER OR THE DEVILOPER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTORS PREFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE CONTRACTORS PREFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE CONTRACTORS PREFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE CONTRACTORS PREFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE CONTRACTORS PREFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE CONTRACTORS PREFORMANCE PAD ALL ALL POINTS OF VEHICLE EXIT FROM THE CONTRACTOR FOR THE DURATION OF THE PROJECT SHEAL INSTALL A TEMPORARY ROCK ENTRANCE PAD AT ALL POINTS OF VEHICLE EXIT FROM THE CONTRACTOR FOR THE DURATION OF THE PROJECT. SEE DETAILS SHOWN ON SHEET CAJOT THE CONTRACTOR SHALL BE STABLISHED AROUND THE FORTER STEP PRIMERY PAD ALL ALL POINTS OF VEHICLE EXIT FROM THE CONTRACTOR FOR THE DURATION OF THE PROJECT. SEE DETAILS SHOWN ON SHEET CAJOT THE PROJECT SHALL BE FREFORMED PAR THE REQUIREMENTS AND THE COUNTRY THE COUNTRY THE CONTRACTOR SHALL BE

	EXISTING	CANT TEREND	PROPOSED
_	0	SANITARY MANHOLE	•
	63)	STORM MANHOLE	•
	80	CATCH BASIN	Ø 🛭
	3	CULVERT	₫
		HYDRANT	•
	246	GATEVALVE	H
	355 c y	POST INDICATOR VALVE	⊕ PIV
	ü	LIGHT POLE	*
	63	POWER POLE	#
	g	SIGN	-
	⊕ ,.	BENCHWARK	
	- Ba-	SOIL BORINGS	- € a-
	₩	WATER MANHOLE	
	0	TELEPHONE MANHOLE	
	45	UTILITY MANHOLE	
	83	ELECTRIC MANHOLE	
		WATER SERVICE	
	, managarang	SANITARY SERVICE	
	ě.	HANDICAP PARKING	E
		DIRECTION OF FLOW	
	softw.	SPOT ELEVATION	ufe
	1.00	CONTOURS	
	>	SANITARY SEWER	
	>>>	STORM SEWER	
	I	WATERMAIN	
	sy	FORCEMAIN	
		DRAINTILE	→>
		SALT FENCE	895, 90203 30
		CLIRB & CUTTER	
	SCHOOL SEEDS SEEDS BEECK		
	~\$~~******\	TREELINE	~~~~
		EASEMENT LINE	
		SETBACK LINE	

UNDERGROUND TELE
UNDERGROUND GAS OVERHEAD UTILITY

GRADING & EROSION CONTROL SPECIFICATIONS

- The Contractor along with the Owner shall obtain all necessary permits and approvals from governing authorities, including any City permits and the NPDES permit from the MPCA.
- Install erosion control and tree protection measures before beginning site grading activities. Some erosion controls such as bale checks and temporary silt ponds may be installed as grading occurs in specific areas. Maintain erosion controls throughout the grading process and remove when turf has been established.

 The Contractor shall adhere to all requirements of the MPCA NPDES permit.
- The area to be disturbed shall be minimized and turf shall be established within the time required.
- All construction entrances shall be surfaced with crushed rock, as detailed.
- Contractor shall strip, stockpile and re-spread existing on-site topsoil to provide a uniform thickness on all disturbed areas to be sodded or seeded, except new boulevard areas between the street right-of-way and proposed curbing. Stockpile topsoil adjacent to the right-of-ways for respreading in the boulevards after private and public utility service lines are installed.
- Existing granular materials may be segregated and stockpiled for reuse on-site.

 Any excess shall be the responsibility of the Contractor and hauled off-site.
- Grades shown are finished grades.
- Final grading tolerances are +/- 0.1 feet of finish grades.
- Under pavements compact the upper 3 feet of subgrade to 100% Standard Proctor Density at optimum moisture content and 95% Standard Proctor Density below the upper 3 feet of subgrade. Outside pavement areas compact embankments to 95% Standard Proctor Density.
- Turf establishment shall be in accordance with MnDOT 2575. Seeding shall be in accordance with MnDOT 3876. Seed is mixture 25-151 at a rate of 120 pounds per acre. Seed mixture in ponding and wetland areas shall be 33-262 at a rate of 44 pounds per acre. Fertilizer is type 1, analysis 20-10-10 NPK at a rate of 400 pounds per acre. Mulch is type I and is disk anchored. Wood fiber blanket (WFB) shall be installed to all areas 3:1 and steeper. WFB shall be category 2, straw or wood fiber with netting on one side per MnDOT 3885.
- Slopes at 3:1 or steeper, and/or where indicated on the plan shall be seeded and have a wood fiber blanket installed or may be hydroseeded with tackifer mulch.
- All spot elevations represent finished surface grades at gutter line, face of building or edge of pavement unless noted otherwise.
- · Sec Site Plan for further curb and bituminous taper locations

Loucks

RYLAUR LLC 752 STILLWATER RD. MAHTOMEDI, MINNESOTA 55115 P: 651.631.1300

F: 651.631.1500 ©2014 RYLAUR LLC.

PROJECT INFORMATION:

CLIENT INFORMATION:

ASSOCIATES nning • Civil Engineering • Land Sun

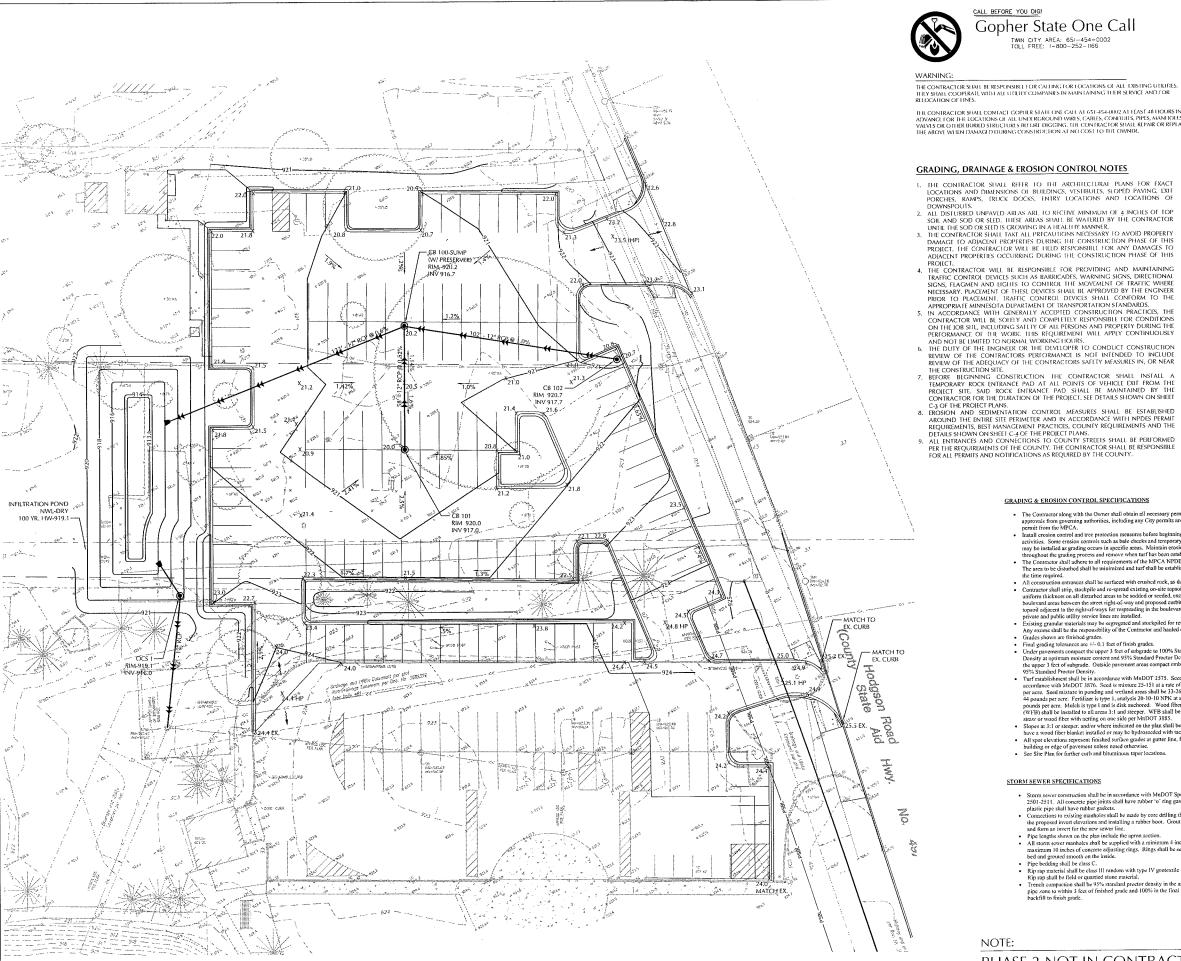
Todd W. McLouth - PE

Drawing date:

REVISION SCHEDULE DESCRIPTION

DRAWN BY: CHECKED BY:

SHEET TITLE: GRADING PLAN-PHASE 1



Gopher State One Call

TWIN CITY AREA: 651-454-0002 TOLL FREE: 1-800-252-1166

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL. IXISTING UTILITIES THAT COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SLRVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-354-0002 AT TEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDINGROUND WRITS, CAREES, CONDITIES, PIPES, MANIFOLES, VALVES OR OTHER BURBLD SHUCLUTURS BITGOD BIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMACED DURING CONSTRUCTION AT NO COST TO THE OWNER.

IN

CIVIL LEGEND

FEET

SCALE

RYLAUR ILC 752 STILLWATER RD. MAHTOMEDI, MINNESOTA 55115
P: 651.631.1300
F: 651.631.1500
@2014 RYLAUR LLC.

PROJECT INFORMATION:

CLIENT INFORMATION:

Ø Ø CATCH BASIN HYDRANT POST INDICATOR VALVE POWER POLE **4**-SOIL BORINGS TELEPHONE MANHOL UTILITY MANHOLE ELECTRIC NAMHOLE WATER SERVICE HANDICAP PARKING DIRECTION OF FLOW SPOT ELEVATION CONTOURS # SANTARY SEWER STORM SEWER sees source 1000 CURB & CUTTER TREELINE ... SETBACK LINE FENCE LINE
UNDERGROUND TELE

GRADING & EROSION CONTROL SPECIFICATIONS

- The Contractor along with the Owner shall obtain all necessary permits and approvals from governing authorities, including any City permits and the NPDES permit from the MPCA.

- approvals from governing authornics, including any Cuty permits and the NPUEs permit from the MPCA.

 Install crossion control and tree protection measures before beginning site grading activities. Some crossion controls such as bake checks and temporary silt ponds may be installed as grading occurs in specific areas. Maintain crossion controls throughout the grading process and remove when turf has been established.

 The Contractor shall achiere to all requirements of the MPCA NPDES permit. The area to be disarbed shall be minimized and turf shall be established within the time required.

 All construction entrances shall be surfaced with enashed rock, as detailed.

 Contractor shall strip, stockpile and re-spread existing on-site topsoil to provide a uniform thickness on all distincted areas to be sedded or seeded, except new boulevard areas between the street right-of-way and proposed cutbing. Stockpile topsoil adjacent to the right-roways for respreading in the boulevards after private and public utility service lines are installed.

 Existing granular materials may be segregated and stockpiled for reuse on-site. Any excess shall be the responsibility of the Contractor and hauled off-site.

 Grades shown are finished grades.
- Grades shown are finished grades.
- Final grading tolerances are ±/- 0.1 feet of finish grades.
 Under pavements compact the upper 3 feet of subgrade to
- rutai graumi coarantees are 70-0.1 foot of finansi graums.
 Under pavements compact the upper 3 feet of subgrade to 100% Standard Proctor Density at optimium moisture content and 95% Standard Proctor Density below the upper 3 feet of subgrade. Outside pavement areas compact embankments to
- 95% Standard Proetor Density.

 Turf establishment shall be in accordance with MnDOT 2575. Seeding shall be in accordance with MnDOT 3876. Seed is mixture 25-151 at a rate of 120 pounds per acre. Seed mixture in ponding and wetland acreas shall be 33-262 at a rate of 44 pounds per acre. Fertilizer is type 1, analysis 20-10-10 NPK at a rate of 400 pounds per acre. Mulche is type 1 and 15 disk anchored. Wood fiber blanket (WFB) shall be installed to all acreas 31 and steeper. WFB shall be category 2, straw or wood fiber with nerting on one side per MnDOT 3885.

 Slopes at 37 or seeper, and/or where indicated on the plant shall be seeded and have a wood fiber blanket installed or may be hydroseeded with tackifer mulch.
- All spot elevations represent finished surface grades at gutter line, face of building or edge of pavement unless noted otherwise.

 See Site Plan for further curb and bituminous taper locations.

STORM SEWER SPECIFICATIONS

- STORM SEW ER NPLETICATIONS

 Storm sewer construction shall be in accordance with MnDOT Specifications 2501-2511. All concrete pipe joints shall have rubber o' ring gaskets. All plastic pipe shall have rubber gaskets.
 Connections to existing manholes shall be made by core drilling the manhole at the proposed invert elevations and installing a rubber boot. Grout in the boot and form an invert for the new sewer line.

 Pipe lengths shown on the plan include the apron section.
 All storm sever manholes shall be supplied with a minimum 4 inches and maximum 10 inches of concrete adjusting rings. Rings shall be set in a motor bed and greuded smooth on the inside.

 Pipe bedding shall be class C.
 Rip rap material shall be class II random with type IV geotexille filter fabric. Rip rap shall be field or quarried stone material.
 Trench compaction shall be 95% standard proctor density in the area from the pipe zone to within 3 feet of finished grade and 100% in the final 3 feet of the backfill to finish grade.

- pipe zone to within a re-backfill to finish grade.

PHASE 2 NOT IN CONTRACT

Loucks ASSOCIATES

Todd W. McLouth - PE

Drawing date:

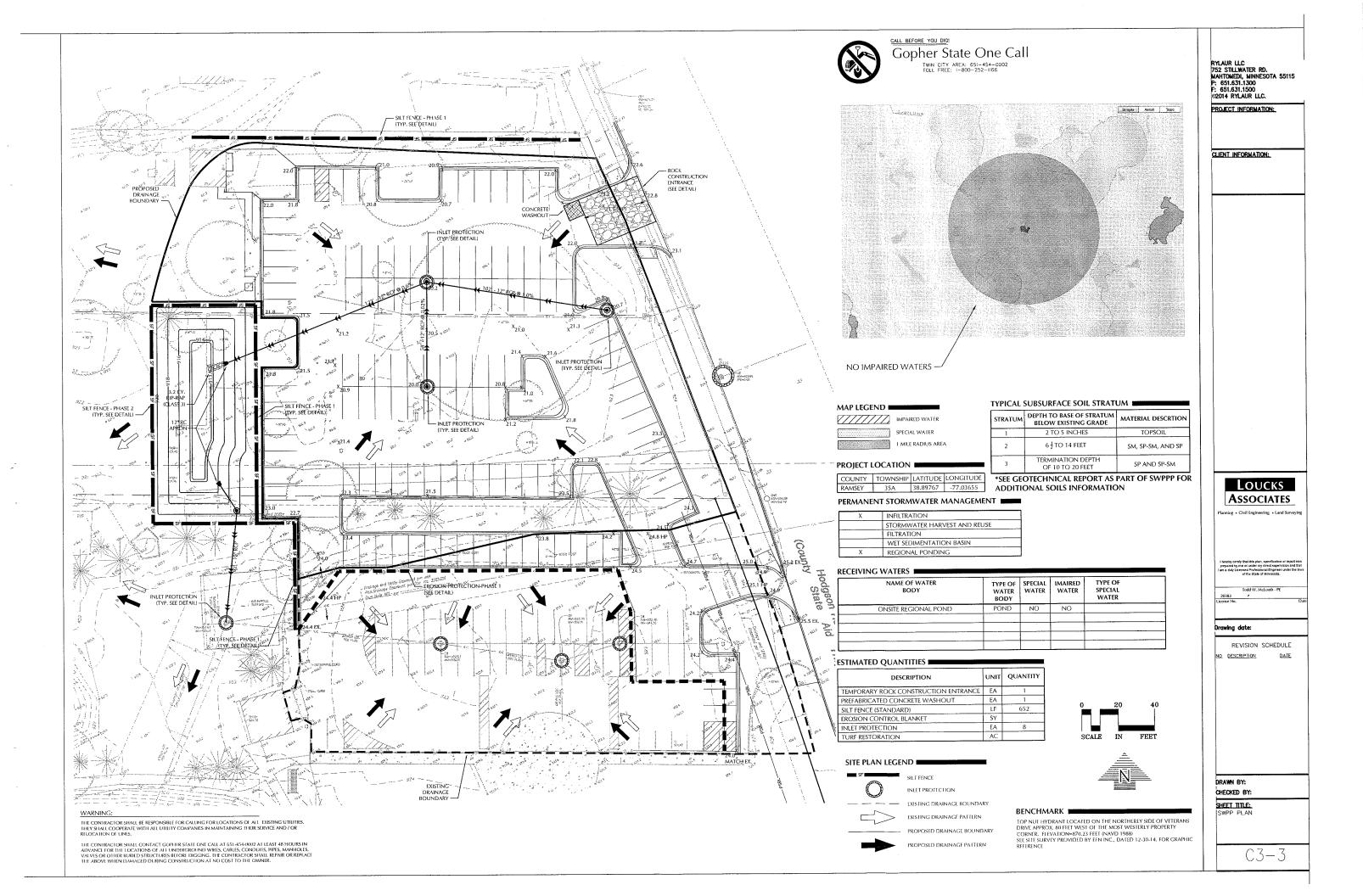
REVISION SCHEDULE NO DESCRIPTION DATE

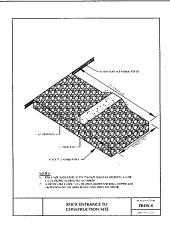
DRAWN BY:

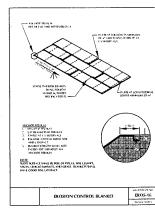
CHECKED BY: SHEET TITLE:

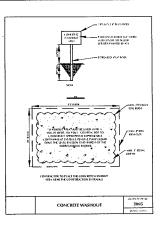
GRADING PLAN-ULTIMATE PHASE 2

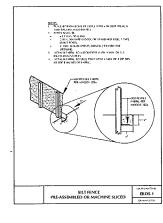
C3 - 2

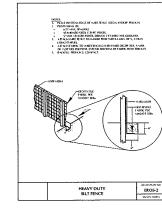


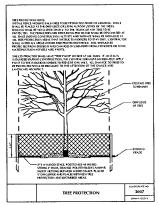


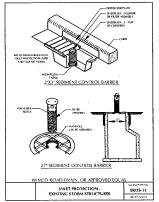


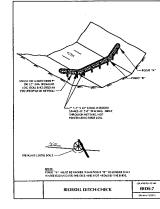


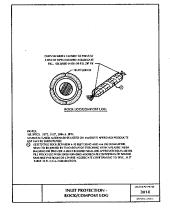












Inspection Activities-Infiltration System

Inspection Activity	Recommended Inspection Frequency	Outcomes/Actions
Visual inspection for debris and trash: inlets, sump manholes, basins and outlet structure	Monthly	Notify maintenance staff/Property Manager of need for debris removal
Visual inspection for erosion and undesirable vegetation around inlets, outlets and basins	Monthly	Notify maintenance staff/Property Manager of need to repair erosion damage/stabilize
Sediment accumulation in sump manholes and infiltration system.	Every 6 months	Notify maintenance staff/Property Manager of need to remove sedimen when depth exceeds 6 inches.
Inspect structural components of inlet and outlet structures and infiltration system	Every 6 months	Notify maintenance staff/Property Manager of any observed structural damage, loose or missing bolts, blockage, etc
 Inspect ground surface above and adjacent to the structures for sinkholes or other unusual depression areas, 	Monthly	Notify maintenance staff/Property Manager of the presence of sinkhole
6. Dewatering	After Large storm events	Notify maintenance staff/Property Manager of the system's failure to dr within 72 hours of a storm event

Maintenance Activity		Frequency	Procedure	Maintenance by
1.	Trash and debris removal from sumps, inlets and outlets	As needed per inspection	Remove accumulated debris	Property owner or designated contractor
2.	Erosion repair	As needed per inspection	Handwork	Property owner or designated contractor
3.	Sediment removal from sumps and basin	Annually or as required when sediment exceeds 6 inches for sumps or ½ wet basin depth	Remove accumulated sediment through access MH, preferably vacuum.	Property owner or designated contractor
4.	Clean/Fix structural components	As needed per inspection	Dependent on type of damage; Repair or replace components per manufacturer's recommendations	Property owner or designated contractor
5.	Repair of structures	As needed per inspection	Follow manufacturer's recommendation	Property owner or designated contractor
6.	Dewatering	As needed per inspection	Pump water to downstream storm sewer per manufacturer's recommendation. DNR water appropriations permit may be required. Inspect for possible causes.	Property owner or designated contractor

RYLAUR LLC 752 STILLWATER RD. MAHTOMEDI, MINNESOTA 55115 P: 651.631.1300 F: 651.631.1500 ©2014 RYLAUR LLC.

PROJECT INFORMATION:

OAK HILL MONTESSORI

4665 HODGSON RD. ST. PAUL, MN 55126

CLIENT INFORMATION:

OAK HILL MONTESSORI

4665 HODGSON RD. ST. PAUL, MN 55126

STATUS



Drawing date: 2015 06-24

REVISION SCHEDULE NO DESCRIPTION DATE

DRAWN BY: YP CHECKED BY: TWM

SHEET TITLE: SWPPP DETAILS

C3 - 4

SWPPP NOTES

PROJECT DESCRIPTION

THE NATURE OF THIS PROJECT CONSISTS OF EXPANDING THE EXISTING PARKING LOT TO THE NORTH AND PROVIDE A NEW DRIVEWAY ENTRANCE TO CR49. THE OVERALE PROJECT WILL BE COMPLETED IN TWO PHASTS, PHASE. LOONSISTS OF A RING BOAD WITH SOME PARKING TO ACCESS NEW DRIVEWAY ENTRANCE WITH THE MAJORITY OF CENTRAL GREEN AREA LETT IN ITS EXISTING CONDITION, PHASE 2 WILL HELD IN THE GREEN SPACE WITH THE REMAINDER OF THE PARKING AREA. COMPLETING THE PARKING LOT IMPROVEDIMENTS.

- 2. SEQUENCING OF MAJOR CONSTRUCTION ACTIVITIES ARE AS FOLLOWS:
- INSTALL VEHICLE TRACKING BMP
- INSTALL SILT FENCE AROUND SITE INSTALL PROTECTIVE FENCE AROUND INFILTRATION AREAS CLEAR AND GRUB SITE STRIP AND STOCKPILE TOPSOIL

- SI NET AND STOCKMED FOR YOUR STOCKMED TO STOCK THE STOCKMED TO STOCKMED THE STOCKMED TO STOCKMED THE STOCKMED

SITE DATA: AREA OF DISTURBANCE:

PRE-CONSTRUCTION IMPERVIOUS AREA: POST-CONSTRUCTION IMPERVIOUS AREA:

GENERAL SOIL TYPE: HSG A

- THE LOCATION OF AREAS NOT TO BE DISTURBED MUST BE IDENTIFIED WITH FLAGS, STAKES, SIGNS, SILT FENCE, ETC. BEFORE CONSTRUCTION BEGINS.
- ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN (1.4) OR MORE DAYS SHALL BE STABILIZED BY SEEDING OR SODDING IONLY AVAILABLE PRICR I TO SEPTEMBER 15; OR BY MULCHING OR COVERING OR O'THER EQUIVALENT CONTROL MEASURE. AT A RATE OF 1.5 TIMES STANDARD SEEDING FINAL STABILIZATION TO BE DONE PER LANDSCAPE PLAN, SEE SHEET LI-1.

LOPES 3:1 OR GREATER MAINTAIN SHEET FLOW AND MINIMIZE RILLS AND/OR GULLIES, SLOPE LENGTHS CAN NOT BE GREATER THAN 75 FEET.

DENOTES SLOPES GREATER THAN 3:1. ALL 3:1 SLOPES TO BE STABILIZED WITH EROSION CONTROL BLANKET

- 7. ALL STORM DRAINS AND INLETS MUST BE PROTECTED UNTIL ALL SOURCES OF POTENTIAL DISCHARGE ARE STABILIZED.
- TEMPORARY SOIL STOCKPILES MUST HAVE EFFECTIVE SEDIMENT CONTROL AND CAN NOT BE PLACED IN SURFACE WATERS OR STORM WATER CONVEYANCE SYSTEMS. TEMPORARY STOCKPILES WITHOUT SIGNIFICANT AMOUNT OF SILT, CLAY, OR ORGANIC COMPOUNDS ARE EXEPTIL EX: CLEAN AGGREGATE STOCK PILES, DEMOLITION CONCRETE STOCKPILES, SAND
- SEDIMENT LADEN WATER MUST BE DISCHARGED TO A SEDIMENTATION BASIN WHENEVER POSSIBLE. IF NOT POSSIBLE, IT MUST BE TREATED WITH THE APPROPRIATE BMP'S.
- 10. SOLID WASTE MUST BE DISPOSED OF PROPERLY AND MUST COMPLY WITH MPCA DISPOSAL
- THE WATERSHED DISTRICT OR THE CITY MAY HAVE REQUIREMENTS FOR INSPECTIONS OR AS-BUILT DRAWINGS VERIFYING PROPER CONSTRUCTION OF THE BMPS.
- 12. THE OWNER WHO SIGNS THE NPDES PERMIT APPLICATION IS A PERMITTEE AND IS RESPONSIBLE FOR COMPLIANCE WITH ALL TERMS AND CONDITIONS OF THE PERMIT. THE OPERATOR (CONTRACTOR) WHO SIGNS THE MPDES PERMIT APPLICATION IS A PERMITTEE FOR PARTS II.B., PART II.C. PART II.E.F. PART V, PART IV AND APPLICABLE CONSTRUCTION ACTIVITY REQUIREMENTS FOUND IN APPENDIX A, PART C. OF THE NPDES PERMIT AND IS JOINTLY RESPONSIBLE WITH THE OWNER FOR COMPLIANCE WITH THOSE PORTIONS OF THE PERMIT.
- TERMINATION OF COVERAGE-PERMITTEE(S) WISHING TO TERMINATE COVERAGE MUST SUBMIT A NOTICE OF TERMINATION (NOT) TO THE MPCA. ALL PERMITTEE(S) MUST SUBMIT A NOT WITHIN 30 DAYS AFTER ONE OR MORE OF THE FOLLOWING CONDITIONS HAVE BEEN MET:
 - FINAL STABILIZATION, PER NPDES PERMIT PART IV.G. HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE.
- B. TRANSFER OF OWNERSHIP AS DESCRIBED IN THE PERMIT

15. INSPECTIONS

- INITIAL INSPECTION FOLLOWING SILT FENCE INSTALLATION BY CITY REPRESENTATIVE IS
- B. EXPOSED SOIL AREAS: ONCE EVERY 7 DAYS AND WITHIN 24 HOURS FOLLOWING A 0.5" OVER 24 HOUR RAIN EVENT.
- STABILIZED AREAS: ONCE EVERY 30 DAYS
- FROZEN GROUND: AS SOON AS RUNOFF OCCURS OR PRIOR TO RESUMING CONSTRUCTION.
- INSPECTION AND MAINTENANCE RECORDS MUST BE RETAINED FOR 3 YEARS AFTER FILING OF THE NOTICE OF TERMINATION AND MUST INCLUDE: DATE AND TIME OF ACTION, NAME OF PERSON(S) CONDUCTING WORK, FINDING OF INSPECTIONS AND RECOMMENDATIONS FOR CORRECTIVE ACTION, DATE AND AMOUNT OF RAINFALL EVENTS GREATER THAN 0.5 INCHES IN A 24 HOUR PERIOD.

16. MINIMUM MAINTENANCE

- SILT FENCE TO BE REPAIRED, REPLACED, SUPPLEMENTED WHEN NONFUNCTIONAL, OR 1/3 FULL; WITHIN 24 HOURS
- SEDIMENT BASINS DRAINED AND SEDIMENT REMOVED WHEN REACHES 1/2 STORAGE VOLUME. REMOVAL MUST BE COMPLETE WITHIN 72 HOURS OF DISCOVERY.
- SEDIMENT REMOVED FROM SURFACE WATERS WITHIN (7)SEVEN DAYS
- CONSTRUCTION SITE EXITS INSPECTED, TRACKED SEDIMENT REMOVED WITH 24 HOURS.
- THE SWPPP, INCLUDING ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS MUST BE KEPT AT THE SITE DURING CONSTRUCTION ACTIVITY BY THE PERMITTEESS WHO HAVE OPERATIONAL CONTROL OF THE SITE.
- 18. OWNER MUST KEEP RECORDS OF ALL PERMITS REQUIRED FOR THE PROJECT, THE SWPPP, ALI INSPECTIONS AND MAINTENANCE, PERMANENT OPERATION AND MAINTENANCE AGREEMENTS, AND REQUIRED CALCULATIONS FOR TEMPORARY AND PERMANENT STORM WATER MANAGEMENT SYSTEMS. THESE RECORDS MUST BE RETAINED FOR THEIL YEARS AFTER FILING NPDES NOTICE OF TERMINATION.

SWPPP MUST BE AMENDED WHEN:

- THERE IS A CHANGE IN DESIGN, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS. THAT HAS A SIGNIFICANT EFFECT ON DISCHARGE
- INSPECTIONS INDICATE THAT THE SWPPP IS NOT EFFECTIVE AND DISCHARGE IS EXCEEDING WATER QUALITY STANDARDS.
- THE BMP'S IN THE SWPPP ARE NOT CONTROLLING POLLUTANTS IN DISCHARGES OR IS NOT CONSISTENT WITH THE TERMS AND CONDITIONS OF THE PERMIT.
- AT ANY TIME AFTER PERMIT COVERAGE IS EFFECTIVE, THE MPCA MAY DETERMINE THAT THE PROJECT'S STORMWATER DISCHARGES MAY CAUSE, HAVE REASONABLE POTINTIAL TO CAUSE, OR CONTRIBUTE TO NON-ATTAINMENT OF ANY APPLICABLE WATER QUALITY STANDARD, OR THAT THE SWPPP DOES NOT INCORPORATE THE APPLICABLE. SIANDARD, OR THAT THE SWPPP DOES NOT INCORPORATE THE APPLICABLE.

 REQUIREMENTS IN PART III.AS, (IMPAINED WATERS AND TMDIS). If A WATER QUALITY STANDARD CHANGES DURING THE ITEM OF THIS PERMIT, THE MPCA WILL AKE A DETERMINATION AS TO WHETHER A MODIFICATION OF THE SWPPP IS NECESSARY TO ADDRESS THE NEW STANDARD. IF THE MPCA MAKES SUCH DETERMINATIONS; OR ANY OF THE DETERMINATIONS OF APPLICATION. WRITING, IN RESPONSE, THE PERMITTEES! IN WRITING, IN RESPONSE, THE PERMITTEES! MUST AMEND THE SWPPP TO ADDRESS THE DETRIBUTED CONCERNS AND SUBMIT INFORMATION REQUESTED BY THE MPCA. WHICH MAY INCLUDE AN INDIVIDUAL PERMIT APPLICATION. IF THE MPCA'S WRITTEN NOTIFICATION REQUIRES A RESPONSE, FAILURE TO RESPOND WITHIN THE SPECIFIED TIMEFRAME CONSTITUTES A PERMIT VIOLATION.

20. CONCRETE WASHOUT AREA

- CONTRACTOR TO PROVIDE PREFABRICATED CONCRETE WASH-OUT CONTAINER WITH RAIN PROTECTION PER PLAN.
- CONCRETE WASH-OUT TO BE IDENTIFIED WITH SIGNAGE STATING "CONCRETE WASHOUT AREA DO NOT OVERFILL".
- CONCRETE WASHOUT WATER NEEDS TO BE PUMPED WITHIN 24 HOURS OF STANDING
- 21. IN THE EVENT OF ENCOUNTERING A WELL OR SPRING DURING CONSTRUCTION CONTRACTOR TO CEASE CONSTRUCTION ACTIVITY AND NOTIFY ENGINEER.
- 22. PIPE OULTETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER.

LINAL STABILIZATION FUNDATION THAT ALL SOIL DISTURBING ACVITIVITIES HAVE BEEN COMPLETED AND THAT DISTURBED AREAS ARE STABILIZED BY A UNIFORM PERENNIAL VICETATIVE COVER WITH 170% OF THE EXPECTED FINAL DESIGNATIVE, AND THAT ALL PERMANENT PAVMENTS HAVE BEEN INSTALLED. ALL TEMPORARY BAMPS SHALL BE REMOVED, DITCHES STABILIZED, AND SEDIMENT SHALLE BE REMOVED FROM PERMANENT CONVEYANCES AND SEDIMENTATION BASINS IN ORDER TO RETURN THE POND TO DESIGN CAPACITY.

- 24. TEMPORARY SEDIMENTATION BASINS

 A. THE TEMPORARY SEDIMENTATION BASINS SHALL BE CONSTRUCTED AND MADE OPERATIONAL PRIOR TO DISTURBANCE OF 10 OR MORE ACRES DRAINING TO A COMMON LOCATION.
 - TEMPORARY SEDIMENTATION BASINS ARE REQUIRED PRIOR TO RUNOFF LEAVING THE IEMPORARY SEDIMENTATION BASINS ARE REQUIRED PRICE OF LORIGHTE LEAVING THE CONSTRUCTION SITE OR ENTERING SURFACE WATERS WHEN 10 OR MORE ACRES OF DISTURBED SOILS DRAIN TO A COMMON LOCATION. THE BASIN MUST PROVIDE 3,600 CUBIC FEET OF STORAGE BLOW THE OUTLET PER ACRE DRAINED. IF HYDRAULIC CALCULATIONS ARE AVAILABLE, THE TEMPORARY SEDIMENTATION BASIN MUST PROVIDE A STORAGE VOLUME EQUIVALENT TO THE 2-YEAR, 24-HOUR STORM, BUT IN NO CASE LESS THAN 1800 CUBIC FEET PER ACRE DRAINED. THE TEMPORARY SEDIMENTATION BASIN MUST THAN 1800 CUBIC FEET PER ACRE DRAINED. THE TEMPORARY SEDIMENTATION BASIN MUS BE CONSTRUCTED AND MADE OPERATIONAL CONCURRENT WITH THE START OF SOIL DISTURBANCE UP GRADIENT OF THE POND. THE TEMPORARY SEDIMENTATION BASIN SHALL BE DESIGNED TO PREVIENT SHORT CIRCUITING. THE OUTFALL SHALL BE DESIGNED TO REMOVE FLOATABLE DEBRIS, ALLOW FOR COMPLETE DRAWDOWN OF THE POND FOR MAINTEANACE ACTIVITIES, AND HAVE ENERGY DISSIPATION. THE EMERGENCY SPILLWAY SHALL BE STABILIZED.
 - TEMPORARY SEDIMENTATION BASINS SHALL BE SITUATED OUTSIDE OF SURFACE WATERS AND ANY REQUIRED BUFFER ZONE, AND MUST BE DESIGNED TO AVOID DRAINING WETLANDS, UNLESS THE IMPACT IS IN COMPLIANCE WITH THE REQUIREMENTS OF THIS
 - EXCESSIVE SEDIMENT-LADEN WATER THAT IS NOT PROPERLY FILTERED WILL NOT BE PERMITTED TO DISCHARGE FROM SIRE.

25. DEWATERING AND BASIN DRAINING

- ATTERING AND BASIN DRAINING
 TURBID OR SEDIMENT-LADED WATERS RELATED TO DEWATERING OR BASIN DRAINING
 SHALL BE DISCHARGED TO A TEMPORARY OR PERMANENT SEDIMENTATION BASIN ON THE
 PROJECT SITE UNLESS INFEASIBLE. THE TEMPORARY OR PERMANENT BASIN MAY DISCHARGE
 TO SURFACE WATERS IF THE BASIN WATER HAS BEEN VISUALLY CHECKED TO ENSURE
 ADEQUATE TREATMENT HAS BEEN OBTAINED IN THE BASIN AND THAT THE NUISANCE
 CONDITIONS WILL NOT RESULT FROM THE DISCHARGE. DISCHARGE POINTS SHALL BE
 ADEQUATELY PROTECTED FROM BROSION AND PROPER VELOCITY DISSIPATION PROVIDED.
- ALL WATER FROM DEWATERING OR BASIN-DRAINING ACTIVITIES MUST BE DISCHARGED IN A MANNER THAT DOES NOT CAUSE NUISANCE CONDITIONS, EROSION IN THE RECEIVING CHANNELS OR ON DOWN SLOPE PROPERTIES, OR INJUNDATION IN WETLANDS CAUSING SIGNIFICANT ADVERSE IMPACTS TO THE WETLAND.
- FILTERS WHITH BACKWASH WATERS ARE USED, THE BACKWASH WATER SHALL BE HAULED AWAY FOR DISPOSAL, RETURNED TO THE BEGINNG OF THE TREATMENT PROCESS, OR INCORPORATED INTO SITE IN A MANNER THAT DOES NOT CAUSE EROSION. BACKWASH WATER MAY BE DISCHARGED TO SANITARY SEWER IF PERMISSION IS GRANTED BY THE SANITARY SEWER WATHONITY.

26. POLLUTION PREVENTION

- BUILDING PRODUCTS THAT HAVE THE POTENTIAL TO LEACH POLLUTANTS MUST BE UNDER COVER TO PREVENT DISCHARGE OR PROTECTED BY AN EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER.
- PESTICIDES, HERBICIDES, INSECTICIDES, FERTILIZERS, TREATMENT CHEMICALS, AND LANDSCAPE MATERIALS MUST BE UNDER COVER.
- HAZARDOUS MATERIALS AND TOXIC WASTE MUST BE PROVIDED TO PREVENT VANDALISM. SOLID WASTER MUST BE STORED, COLLECTED AND DISPOSED OF IN COMPLIANCE WITH MINN. R. CH 7035.
- MINN. K. CH. 7035.

 PORTABLE TOILETS MUST BE POSITIONED SO THAT THEY ARE SECURE AND WILL NOT BE TIPPED OR KNOCKED OVER. SANITARY WASTE MUST BE DISPOSED OF PROPERLY IN ACCORDANCE WITH MINN. R. CH. 7041.
- DISCHARGE OF SHILLD METAL OF THE METALS, INCLUDING FUEL, FROM ANY AREA WHERE CHEMICALS OR FUEL WILL BE LOADED OR UNLOADED SHALL BE PREVENTED USING DRIP PANS OR ABSORBENTS. SUPPLIES SHALL BE AVAILABLE AT ALL TIMES TO CLEAN UP DISCHARGED MATERIALS AND THAT AN APPROPRIATE DISPOSAL METHOD MUST BE AVAILABLE FOR RECOVERED SPILLED MATERIALS.

TEMPORARY & PERMANENT STORMWATER TREATMENT ARE DESIGNED TO MEET MPCA CENERAL & SPECIAL WATER REQUIREMENTS. CALCULATIONS ARE PART OF THE HYDROLOGY REPORT, WHICH IS TO BE CONSIDERED PART OF THE SWIPP DOCUMENTS. SEE HYDROLOGY REPORT FOR ADDITIONAL INFORMATION.

28. GENERAL STORMWATER DISCHARGE REQUIREMENTS

ALL REQUIREMENTS LISTED IN PART III OF THE PERMIT FOR DESIGN OF THE PERMANENT STORMWATER MANAGEMENT SYSTEM AND DISCHARGE HAVE BEEN INCLUDED IN THE PREPARATION OF THIS SWYP. THESE INCLUDE BUT ARE NOT LIMITED TO

- THE EXPECTED AMOUNT, FREQUENCY, INTENSITY, AND DURATION PRECIPITATION. THE NATURE OF STORMWATER RUNOFF AND RUN-ON AT THE SITE.
- PEAK FLOW RATES AND STORWATER VOLUMES TO MINIMIZE EROSION AT OUTLETS AND DOWNSTREAM CHANNEL AND STREAM BANK EROSION.
- THE RANGE OF SOIL PARTICLE SIZES EXPECTED TO BE PRESENT ON THE SITE.

29. CONSTRUCTION OF FILERATION BASINS

- NO HEAVY TRAFILE ON THE IREATION AREAS, CONSTRUCTION TO BE DONE WITH MINIMAL COMPACTION COMPACTION TO THE RATION AREAS, E COMPACTION IS ENCOUNTERED. BASIN SOLIS CONTILL THIS IS A MUST BE REMOVED. & RELAID.
- INFILITATION SYSTEMS MUST BE REMOVED & RELAID.

 INFILITATION SYSTEMS MUST NOT BE EXCAVATED TO FINAL GRADE UNTIL THE
 CONTRIBUTING DRAINAGE AREA HAD BEEN CONSTRUCTED AND FULLY STABILIZED UNITSS
 REGOROUS EROSIN PREVENTION AND SEDIMENT CONTROLS ARE PROVIDED, PART

 III.C.I.C.).
- HILD.L.C.). WHICH AN INFILIRATION SYSTEM IS EXCAVATED TO FINAL GRADE FOR WITHIN THREE (3) FEET OF FINAL GRADE). THE PERMITTEES MUST FAMILOY RICGOROUS EROSION PERVENTION AND SEDIMENT CONTROLS (F.G., DIVERSION BERNS) FOR SET SEDIMENT AND RUNOFF COMPLETELY AWAY FROM THE INTIL INTIL RATION AREA. THE AREA MUST BE STAKED OFF AND MARKED SO THAT HEAVY CONSTRUCTION VEHICLES OR EQUIPMENT WILL NOT COMPACT HES SOIL IN THE PROPOSED INTIL IRATION AREA.
- THE SOLIT IN THE PART OF SOLIT IN THE ANTION MAKE.

 TO PREVENT CLOGGING OF THE INFILIRATION OR FILTRATION SYSTEM, THE PERMITTEES MUST USE A PRETREATMENT DEVICE SUCH AS A VIGELATED FILTER STRIP, SMALL SEDIMENTATION BASIN, OR WATER QUALITY INLET (E.G., GRIL CHAMBER) TO SETTLE PARTICULATES BEFORE THE STORMWATER DISCHARGES INTO THE INPILITRATION OF

30. POST CONSTRUCTION

THE WATER QUALITY VOLUME THAT MUST BE RETAINED ON SITE BY THE PROJECT'S PERMANENT STORMWATER MANAGEMENT SYSTEM DESCRIBED IN PART HILD. SHALL BE ONE (I) INCH OF RUNDET FROM THE NEW IMPERVIOUS SURFACES CRATED BY THE PROJECT. SET PART HILD. I. FOR MORE INFORMATION ON INFILTRATION DESIGN, PROHIBITIONS AND APPROPRIATE SITE

31. RESPONSIBILITIES

- THE OWNER MUST IDENTIFY A CONTRACTOR WHO WILL OVERSEE THE SWPPP
 IMPLEMENTATION AND THE PERSON RESPONSIBLE FOR INSPECTION AND MAINTENANCE:
 THE OWNER MUST IDENTIFY THE A PERSON WHO WILL BE RESPONSIBLE FOR LONG TERM
 OPERATIONS AND MAINTENANCE OF THE PERMANENT STORMWATER MANAGEMENT

32. TRAINING REQEMENTS

THE PERMITTES(S) SHALL ENSURE THE FOLLOWING INDIVIDUALS IDENTIFIED IN THIS PART HAVE BEEN TRAINED IN ACCORDANCE WITH THIS PERMIT'S TRAINING REQUIREMENTS.

- WHO MUST BE TRAINED: INDIVIDUAL(S) PREPARING THE SWPP FOR THE PROJECT
- INDIVIDUALS) PREPARING THE SWIPP FOR THE PROJECT INDIVIDUALS) PREPARING THE SWIPP FOR THE PROJECT IN PREVISING, AND AMENDING THE SWAYP AND INDIVIDUALS'S) PERFORMING INSPECTIONS AS REQUIRED IN PART IN F. ONE OF THESE INDIVIDUALS) MUST BE AVAILABLE FOR AN ONSITE INSPECTION WITHIN 72 HOURS UPON REQUEST BY THE MPCA INDIVIDUALS) PERFORMING OR SUPPRIVISING THE INSTALLATION, MAINTENANCE AND REPAIR OF BMPS. AT LEAST ONE INDIVIDUAL ON A PROJECT MUST BE TRAINED IN THES JOB DUTIES.

THE CONTENT AND EXTENT OF TRAINING MUST BE COMMENSURATE WITH THE THE COMENT AND EXTENT OF TRAINING MUST BE COMMENSIONATE WHITH THE INDIVIDUAL'S JOB DUTIES AND RESPONSIBILITIES WITH RECARD TO ACTIVITIES COVERED UNDER THIS PERMIT FOR THE PROJECT, AT LEAST ONE INDIVIDUAL PRESENT ON THE PERMITTED PROJECT IS ITS (OR ANVILABLE TO THE PROJECT SIES ITS 72 HOURS) MUST BE TRAINED IN THE JOB DUTIES DESCRIBED IN PART III.F.1.8. AND PARTILLET.1.6.

33. IHE ERMITTEE(S) SHALL ENSURE THAT THE INDIVIDUALS ARE TRAINED BY LOCAL, STAT, FEDERAL ACENCIES, PROFESSIONAL OR OTHER ENTITIES WITH EXPERTISE IN EROSION PREVENTION, SEDIMENT CONTROL, PERMANENT STORMMATER MANAGEMENT AND THE MINNESOTA NPDES/SDS CONSTRUCTION STORMMATER PERMIT. AN UPDATE REFESHER-TREINING MUST BE ATTENDED EVERY THE DATE OF THIS PERMIT

Design of Construction SWPPP (May 31 2018)

TILE IST OF CONTACTS	NAME	COMPANY	PHONE NUMBER
OWNER			
PROJECT MANAGER	TODD MCLOUTH	LOUCKS ASSOCIATES	763-496-6742
ENGINEER SWPPP	VAL ANDERSON	LOUCKS ASSOCIATES	763-496-6728
CONTRACTOR			
SITE MANGER			

^{*} MPCA 24HR, HAZARDOUS SPILL HOTLINE: 651-649-5457 OF 80420798

RYLAUR LLC 752 STILLWATER RD. MAHTOMEDI, MINNESOTA 55115 P: 651.631.1300 651 631 1500

PROJECT INFORMATION:

OAK HILL MONTESSORI

4665 HODGSON RD. ST. PAUL, MN 55126

CLIENT INFORMATION:

OAK HILL MONTESSORI

4665 HODGSON RD. ST. PAUL, MN 55126

 \forall

 \mathcal{O}

Loucks ASSOCIATES

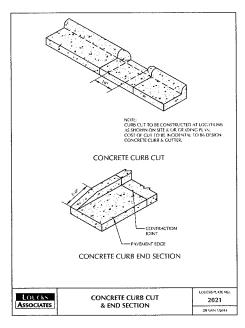
1 **Drawing date:** 2015 06–24

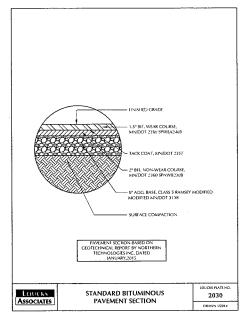
REVISION SCHEDULE NO. DESCRIPTION DATE

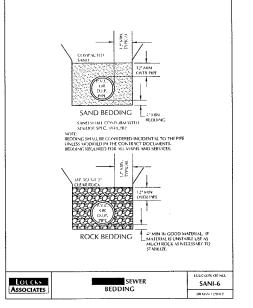
DRAWN BY: CHECKED BY: TWM

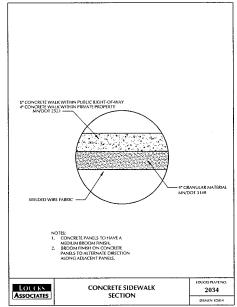
SHEET TITLE: DETAILS

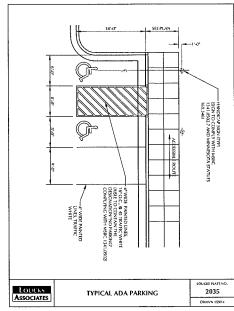
C3 - 5

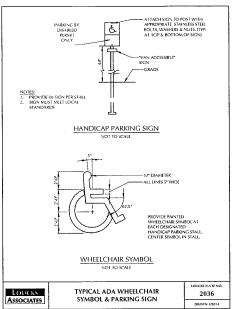


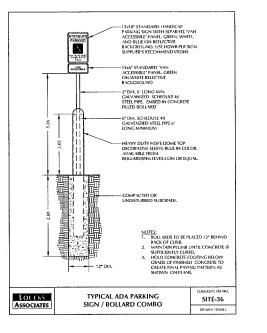


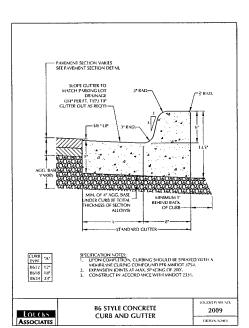


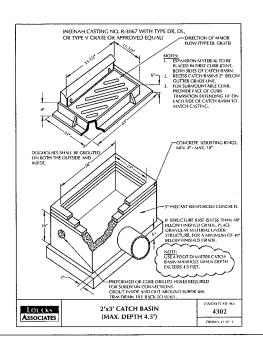


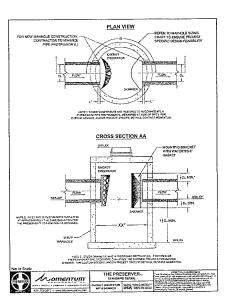












RYLAUR LLC
752 STILLWATER RO.
MAHTOMEDI, MINNESOTA 55115
P: 651.631.1300
E7. 651.631.1300
E7. 651.631.1500
E7. 661.631.1500
E

4665 HODGSON RD. ST. PAUL, MN 55126

PROJ. STATUS



Planning • Civil Engineering • Land Surveyir

I hereby certify that this plan, specification or report we prepared by me or under my direct supervision and the am a duty Eleansed Professional Engineer under the bands of the State of Minnesota.

Todd W. McLouth - PE

Drawing date: 2015 06-24

REVISION SCHEDULE

NO DESCRIPTION DATE

DRAWN BY: YP CHECKED BY: TWM

SHEET TITLE: DETAILS SHEET

C8-1



Kathleen Castle <kcastle@shoreviewmn.gov>

Oak Hill Montessori School

3 messages

Clint Spieler <clintspieler@gmail.com> To: Kathleen Castle <kcastle@shoreviewmn.gov> Sat, Aug 22, 2015 at 1:35 PM

File No. 2589-15-32

Hi Kathleen,

Please add my comments to the file. Could you let me know the Schedule for the meeting. Last time I waited for 4 hours and I work nights. If I know that I am last I will show up late. Thanks, Clint

My comments:

I am the owner of 4701 Hodgson Rd. The plans show that the new entrance to the School and parking lot will be 20 feet from my property. I am asking that the school put up a fence in the same fashion and design that they did on the East side of their property. It is a tall privacy fence that is on their property and ideally would have shrubs and/or small trees to make it look nice. No one wants their house to be backed up against a parking lot. Please ask the school to do the right thing and assure the privacy of their neighbors.

Thank you,

Clint Spieler

Kathleen Castle <kcastle@shoreviewmn.gov> To: Clint Spieler <clintspieler@gmail.com>

Mon, Aug 24, 2015 at 7:37 PM

Good Afternoon -

The Oak Hill request is the second item on the agenda for discussion. The first items is the Southview Sr. Living proposed addition. do expect discussion on this item. I think the soonest Oak Hill would be up for discussion is 7:45 pm but that is just a guess.

The link to the Planning Commission agenda and packet is http://www.shoreviewmn.gov/Home/ShowDocument? id=3999. Page 83 shows the proposed screening plan. A 6-foot tall fence is proposed. The City's Code, however, permits a maximum height up to 4'. The staff is asking that this be changed to 4' and supplemental plantings be added to increase the screening height.

I will forward you comments to the Planning Commission members.

Kathleen

Kathleen Castle City Planner City of Shoreview 651-490-4682 kcastle@shoreviewmn.gov

[Quoted text hidden]

Clint Spieler <clintspieler@gmail.com> To: Kathleen Castle <kcastle@shoreviewmn.gov> Mon, Aug 24, 2015 at 7:41 PM

Unfortunately I am not able to make the meeting. Tomorrow is my busiest day of the year. It is just not possible for me to take time away. Glad to hear a fence it proposed and that the city has asked for supplemental plantings. I am not opposed to a 6foot fence either but definitely I am in favor of the plantings.

Thank you,

Clint

[Quoted text hidden]

- 3. The proposal will diversify the City's housing stock by providing additional housing choice for area older residents.
- 4. The proposal will not impede or otherwise conflict with the planned use of adjoining property.
- 5. The development will be connected to public water and sanitary sewer.

Discussion:

Commissioner McCool offered the following three amendments under the *Planned Unit Development - Development Stage* portion of the motion:

- Applicant shall modify its landscape plan to add/improve landscaping on the northeast side
 of the private driveway, including potential inclusion of privacy fence to the neighbors to
 the north of this development and to improve year-round screening of nearby residents.
 Landscaping shall be approved by City staff.
- 10. Applicant shall work with the City Public Works Director to install a STOP sign or other appropriate signage at the north end of the private driveway to improve traffic control.
- 11. Parking shall be modified, as possible, to incorporate impervious pavers and new parking stalls in existed parking area on site.

Commissioner Doan seconded adoption of the amendments.

VOTE ON THE AMENDMENTS:

Ayes - 7

Nays - 0

VOTE ON THE AMENDED MOTION

Ayes - 7

Nays - 0

NEW BUSINESS

PUBLIC HEARING -/ PRELIMINARY PLAT* / SITE & BUILDING PLAN REVIEW

FILE NO:

2589-15-32

APPLICANT:

OAK HILL MONTESSORI SCHOOL

LOCATION:

4665/4685/4693 HODGSON ROAD

Presentation by City Planner Kathleen Castle

This application is for a Preliminary Plat to plat the subject property, 4665, 4685, and 4693 into one parcel. The total property will consist of 4.5 acres. Drainage and utility easements area required along the parcel lot lines. This action makes a consistent land use designation and zoning for the three properties.

The second part of the application is a Site and Building Plan Review to expand the parking area for additional off-street parking for the school and office use for the entire site. A new driveway entrance on the north for all parcels is planned. A shared parking and maintenance agreement will be required.

The property at 4665 is the site of the private school, parking, recreation facilities and ponding. The property at 4685 has a single-family home and accessory structures. The home has been rented, but the rear yard has been used for field games, gardening and special events. The property at 4693 also has a single-family home with detached garage. It is in the process of being converted into office space for the school. Approval at the City Council's August 3, 2015 meeting included a Comprehensive Plan Amendment to change the land use form Low Density Residential to Institutional and rezoning from R1 Detached Single-Family Residential to O, Office.

The proposal is to expand the parking lot for additional off-street parking for the school and office use for the entire site. This is planned in two phases. Phase One is being presented. Phase Two is anticipated in three to five years. The number of parking stalls would be increased from 42 to 85 stalls. The school previously leased 23 stalls on the Rainbow Foods property and needs to replace that parking space. Code requires 20.5 stalls. The number of stalls proposed is to meet the school's needs, including special events. A new full entry driveway would be at 4693 Hodgson. The existing driveway at 4665 will be redesigned from a full access to a right-out only.

The parking proposal complies with the 20-foot setback requirement when adjacent to a residential use. Screening includes a 6-foot privacy fence along the lot line. Code only allows a 4-foot fence. The fence height will need to be reduced. Additional plantings are recommended to increase the screening height.

Existing 25% impervious surface coverage will increase to 31% with the expanded parking lot, which complies with the maximum 70/75% permitted. Storm water is directed towards a central green space that will provide treatment and storage. A permit is required from the Ramsey Washington Metro Watershed District.

Property owners within 350 feet were notified of the proposal. A public hearing notice was published in the City's legal newspaper. One comment was received regarding a landscape buffer from residential uses. The plan has been revised in response to comments from the Lake Johanna Fire Marshall.

Staff finds that the preliminary plat complies with subdivision and office standards. The design for the Site and Building Plan Review complies with the Development Code. Screening is provided along the northern lot line adjacent to office and parking area. Staff is recommending the Public Hearing and that the applications be forwarded to the City Council with a recommendation for approval.

Commissioner McCool noted that the north driveway is also used during peak times by buses. He asked if the drive will be adequate for two-way traffic.

Commissioner Schumer asked if the Fire Department has reviewed the revised plans for the southern exit. Ms. Castle stated that the Fire Department has indicated that the addition of two feet to widen the south drive complies with Fire Department standards. That modification has not been completed.

Commissioner Ferrington asked what would prevent vehicles from turning left into the south drive that will be right out only. She asked the reason vehicles would not enter from the north and exit from the south.

City Attorney Kelly stated that proper notice has been given for the public hearing.

Chair Solomonson opened the public hearing.

Mr. Peter Hilger, Architect for the project, stated that the Phase Two plan is being shown because the property is being acquired for long-range planning. The limit for building expansion is along the drainage and utility easement. The addition of the two properties to the north allows shifting parking to the north in the future for building expansion. One of the biggest challenges is queing of cars as children are dropped off. Some are trying to exit while others are trying to come in. It is important to move the stacking so it does not spill out onto Hodgson Road. There will be the ability of people to circle in a clean pattern for exit with no additional conflict at the north entrance. The converted house to office is likely to be for three to five years.

Commissioner McCool asked if there has been consideration to making the north exit wider than 24 feet by taking out the last parking stall. **Mr. Hilger** stated that with three aisles from which to turn, there will not be an issue. He agreed that the last parking stall could be striped out if needed.

Mr. Greg Mikre, 4707 Hodgson Road, stated that in looking at the parking lot he cannot relate it to a master plan. The master plan is not shown. He asked if the playground area be moved away from the homes and moved to the front. That would alleviate noise for neighbors and address possible safety issues for the children on a playground that backs up against trees and a neighborhood. He asked if there has been consideration to have children meet at a certain point and then bussed in.

Mr. Peter Hilger referenced the aerial map and showed a section of the property that has been sold and does not adjoing Mr. Mikre's property. There are a maximum of 40 children on the playground which is mostly on the east side of the property.

MOTION:

by Commissioner Schumer, seconded by Commissioner Ferrington to close the public hearing at 9:15 p.m.

VOTE:

Ayes - 7

Nays - 0

Commissioner Ferrington asked if the 4-foot fence with added screening is satisfactory to adjacent neighbor. Ms. Castle responded that while the neighbor would prefer a 6-foot fence, he is pleased that there will be a fence. Staff is asking for additional landscaping to make the screening taller.

Commissioner McCool asked the reason for the 4-foot limit to the fence. Ms. Castle explained that the Development Code requires that any fence in the front yard not exceed 4 feet because of the visual impact. Commissioner McCool asked if there is a provision for fences between the zoning districts. Ms. Castle answered no.

Commissioner Doan asked if what options there would be to increase the height of the fence to 6 feet. Ms. Castle stated that one option would be a variance and a second option would be a Special Fence Permit. Commissioner Doan asked if the applicant would be interested in pursuing a 6-foot fence. Mr. Hilger stated that the original proposal was a 6-foot fence to block traffic impacts.

Chair Solomonson noted that there are other 6-foot fences on Hodgson Road. Ms. Castle suggested a condition that the applicant be encouraged to come back with an application for a 6-foot fence either with a variance or a Special Permit.

MOTION:

by Commissioner Schumer, seconded by Commissioner Ferrington to recommend the City Council approve the Preliminary Plat and Site and Building Plan review applications submitted by Oak Hill Montessori School, 4665 Hodgson Road, for a parking lot expansion. Said approval is subject to the following:

Preliminary Plat

- 1. The Final Plat shall include drainage and utility easements along all property lines. Drainage and utility easements along the roadways shall be 10 feet wide and 5 feet wide along the side and rear lot lines. Other drainage and utility easements may be required by the Public Works Director.
- The applicant shall execute an agreement for this Plat and the Oak Hill Montessori Plat
 between this addressing the shared driveway, parking and maintenance. Said agreements
 shall be submitted to the City Attorney for review and approval prior to the City's release of
 the Final Plat.

Site and Building Plan Review - Phase 1 only

- 1. This approval permits the Phase 1 expansion of the parking lot for Oak Hill Montessori School in accordance with the plans dated July 28, 2015. The plans are subject to revisions as specified in the conditions.
- Approval of the final grading, drainage, utility, and erosion control plans by the Public Works Director, prior to the issuance of a building permit for this project.

 The applicant is required to enter into a Site Development Agreement and Erosion Control Agreement with the City. Said agreements shall be executed prior to the issuance of any permits for this project.

4. A fence permit is required to install the fence along the northern property line as identified in the plan submittal. The fence height shall be reduced to 4 feet for that portion of the fence

located in the front yard.

5. The applicant shall address the comments submitted by the Fire Marshall prior to the issuance of a grading permit for the site improvements.

 The landscape plan shall be revised to include additional plantings along the fence line to increase the height of the landscape screen. This plan shall also include any replacement trees as required.

7. The applicant shall address the comments from the City Engineer prior to the issuance of a

building permit.

8. Prior to the issuance of a grading permit, the applicant shall receive the needed approvals from the Ramsey Washington Metro Watershed District and Ramsey County.

This approval is based on the following findings of fact:

1. The proposed land use is consistent with the designated Institutional land use in the Comprehensive Plan.

2. The proposed development complies with the standards of the City's Development Code.

3. The proposed improvements will not conflict with or impede the planned use of adjoining property.

Commissioner McCool offered an amendment to condition No. 4 under *Site and Building Plan Review - Phase 1* to encourage the applicant to submit a variance application or a Special Fence Permit application to increase the height of the fence to 6 feet. Commissioners Schumer and Ferrington accepted the amendment.

VOTE:

Aves - 7

Nays - 0

Chair Solomonson called a 10-minute break and then reconvened the meeting.

PUBLIC HEARING - CONDITIONAL USE PERMT*

FILE NO:

2587-15-30

APPLICANT:

GARY BORYCZKA

LOCATION:

3680/0 KENT STREET

Presentation by Niki Hill

A Conditional Use Permit is requested for outside storage of materials and equipment in an industrial area. Outside storage areas are allowed in zoned Industrial areas with a Conditional Use Permit.